



Shire of Northam  
*Heritage, Commerce and Lifestyle*

## **SHIRE OF NORTHAM**

**NOTICE OF AN  
ORDINARY COUNCIL MEETING  
COMMENCING AT  
5:30 PM  
WEDNESDAY  
16 DECEMBER 2015**

**Councillors:**

**Please be advised that the next Ordinary Council Meeting will be held 16 December 2015. There will be a Forum meeting held in the Council Chambers on Wednesday, 9 December 2015 at 5:30 pm to discuss the contents of this agenda.**

**JASON WHITEAKER  
CHIEF EXECUTIVE OFFICER  
4 December 2015**

**SHIRE OF NORTHAM**  
**AGENDA**  
**COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015**

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**Notice and Agenda of the Ordinary Meeting of Council to be held in the Council Chambers on WEDNESDAY, 16 December 2015 at 5:30 pm**

**DISCLAIMER**

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In particular and without derogating in any way from the broad disclaimer above, in any discussion regarding any planning application or application for a licence, any statement or limitation of approval made by a member or officer of the Shire of Northam during the course of any meeting is not intended to be and is not taken as notice or approval from the Shire of Northam. The Shire of Northam warns that anyone who has an application lodged with the Shire of Northam must obtain and only should rely on **WRITTEN CONFIRMATION** of the outcome of the application, and any conditions attaching to the decision made by the Shire of Northam in respect of the application.

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**1. OPENING AND WELCOME**

**2. DECLARATION OF INTEREST**

Item Name	Item No.	Name	Type of Interest	Nature of Interest

**3. ATTENDANCE**

**COUNCIL**

Councillors

S B Pollard  
T M Little  
D G Beresford  
J E Williams  
J Proud  
R W Tinetti  
C L Davidson  
U Rumjantsev  
C R Antonio  
D A Hughes

Chief Executive Officer  
Executive Manager Engineering Services  
Executive Manager Development Services  
Executive Manager Community Services  
A/Executive Manager Corporate Services  
Executive Assistant – CEO

J B Whiteaker  
C D Kleynhans  
C B Hunt  
R Rayson  
C Green  
A C Maxwell

**GALLERY**

**4. APOLOGIES**

Councillors

D G Beresford (Council Forum)

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**5. LEAVE OF ABSENCE PREVIOUSLY APPROVED**

Cr D A Hughes has been granted leave of absence from 1 January 2016 to 31 January 2016 inclusive.

Cr Terry Little be granted leave of absence between the following dates: Saturday, 19 December 2015 to Sunday, 17 January 2016 inclusive.

**6. APPLICATIONS FOR LEAVE OF ABSENCE**

Nil.

**7. RESPONSE TO PREVIOUS PUBLIC QUESTIONS TAKEN ON NOTICE**

Nil.

**8. PUBLIC QUESTION TIME**

Nil.

**9. PUBLIC STATEMENT TIME**

Nil.

**10. PETITIONS/DEPUTATIONS/PRESENTATIONS**

**11. CONFIRMATION OF MINUTES OF PREVIOUS MEETINGS**

**11.1 CONFIRMATION OF MINUTES OF PREVIOUS COUNCIL MEETINGS**

**RECOMMENDATION**

**That the minutes of the meeting held Wednesday, 18 November 2015 be confirmed as a true and correct record of that meeting**

**RECOMMENDATION**

**That the minutes of the meeting held Monday, 30 November 2015 be confirmed as a true and correct record of that meeting**

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**11.2 RECEIPT OF NOTES OF THE COUNCIL FORUM MEETING**

**RECOMMENDATION**

That the notes of the Council Forum meeting held Wednesday, 9 December 2015 be received.

**11.3 RECEIPT OF NOTES OF THE STRATEGIC COUNCIL MEETING**

**RECOMMENDATION**

That the notes of the Strategic Council meeting held Wednesday, 25 November 2015 be received.

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**12. ANNOUNCEMENTS BY THE PRESIDING OFFICER WITHOUT DISCUSSION**

**12.1 PRESIDENTS REPORT – ORDINARY COUNCIL MEETING - WEDNESDAY 16 DECEMBER 2015**

<b><u>Visitations and Consultations:</u></b>	
19/11/15	Nationals end of year cocktails event in Perth
20/11/15	WALGA Avon Midlands Zone meeting in Jurien Bay
23/11/15	Avonvale Primary School teaching mentoring event
23/11/15	Roadwise Christmas campaign photo opportunity
24/11/15	Curtin University Peri Urban modelling presentation in Perth
25/11/15	Shire quarterly strategic meeting
26/11/15	Community consultation meeting in Wundowie
30/11/15	Grass Valley Progress Association representatives meeting
2/12/15	WALGA State Council board induction in Perth
2/12/15	St. Josephs School end of year presentation night
3/12/15	ABC Regional Radio interview looking back at 2015
3/12/15	Max Employment international day of people with a disability event
4/12/15	Northam Chamber of Commerce sundowner
7/12/15	AROC meeting in Toodyay
9/12/15	Wundowie Silver Wings Christmas dinner
10/12/15	West Northam Primary School presentation event
11/12/15	Crime prevention seminar
12/12/15	Christmas on Fitzgerald sale event and Christmas lights illumination
12/12/15	Wundowie Men's Shed Xmas event
15/12/15	Avonvale Primary School end of year presentation night
16/12/15	Annual Electors meeting
<b><u>Upcoming Events</u></b>	
18/12/15	Goomalling Community Centre official opening

**Operational matters**

**Christmas on Fitzgerald**

We are involved with this Christmas event along with the Chamber of Commerce and Women in Business groups. We will be launching the laser light show in the evening of the 12<sup>th</sup> December.

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**Strategic matters**

City of Perth Act

The State Government has introduced this Act, primarily to adjust the boundaries of various local governments in the metropolitan area however a couple of late additions have been included into this Act.

The main additions are around Councillors declaring gifts and travel within 10 days of receipt rather than the previous annual declaration.

There is also a concern raised by local government that further alterations of boundaries to subsume more of adjacent local governments into the defined City of Perth is possible under the Act, which amounts to amalgamation by boundary adjustment and bypasses the “Dadour” process contained within the Local Government Act 1995.

Main Roads Amendment Bill 2015

A bill has been introduced into State Government to amend the Main Roads Act 1930 which may impact local government. Once the Bill becomes an Act, the Act gives the Minister, on recommendation from the Commissioner for Main Roads, power to direct a local government to undertake work on local roads that adjoin main roads. I cannot see any immediate concern with this however it may mean that where a local road intersects with a main road, upgrade work can be required to the local road.

WALGA State Council

At the last Avon Midland Zone meeting, I was elected Deputy State Councillor for the next 2 years. Darren Slyn, Deputy President Shire of Dandaragan is our State Councillor. I attended an induction this month to make me aware that WALGA is an incorporated association and has a board like group of Councillors. In my mind, it operates as a hybrid board with local government geographic influence rather than a purely skill set type board. There are 17 zones from which 12 metropolitan and 12 country Councillors are elected giving a board of 24.

The association is conducting an internal governance review and we have submitted our comments on the review.

The subject of “Rate Capping”, where the State Government may restrict land rate revenue increases by local governments to a specified maximum, is causing angst amongst the sector. WALGA is working on the issue.

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**13 REPORTS OF OFFICERS**

**13.1 ADMINISTRATION**

Nil.

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**13.2. DEVELOPMENT SERVICES**

**13.2.1 APPLICATION FOR RETROSPECTIVE DEVELOPMENT APPROVAL FOR A DIRT BIKE TRACK (RECREATION - PRIVATE) - LOT 6 GREAT SOUTHERN HIGHWAY, WOOTATTING**

Name of Applicant:	WKC Spatial
Name of Owner:	Red Dog Nominees Pty Ltd
File Ref:	A1060/P2123
Officer:	Chadd Hunt / Courtney Wynn
Officer Interest:	Nil
Policy:	<i>Local Planning Scheme No.6 Local Planning Policy 8 - Retrospective Planning Applications and Fees Planning &amp; Development Act 2005 Planning Regulations 2015</i>
Voting:	Simple Majority
Date:	25 November 2015

**PURPOSE**

Council is requested to consider an application for retrospective development approval for a dirt bike track at Lot 6 Great Southern Highway, Wootatting.

This application is being referred to Council for consideration as objections were received during the public consultation period.

**BACKGROUND**

The following table lists the key dates in regards to this application.

<b>Date</b>	<b>Item / Outcome</b>
July 2015	The Shire received a complaint from a nearby land owner regarding the dirt biketrack.
July 2015	Shire rangers conducted an inspection of the property and found unauthorised earthworks and earthmoving equipment on the site.
20 <sup>th</sup> July 2015	A letter was sent to the applicant advising the landowner that the earthworks has been carried out unauthorised and that a development application was required to be submitted within 21 days.
3 <sup>rd</sup> August 2015	The applicant contacted the Shire to request an extension of time so that he could engage a consultant to prepare an application.

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14 <sup>th</sup> August 2015	Shire Officers met with the landowner and his consultant at the Shire offices to discuss the application.
12 <sup>th</sup> October 2015	The Shire received the development application.
15 <sup>th</sup> October 2015	The development application was referred to Main Roads Western Australia for comment.
15 <sup>th</sup> October 2015	The development application was referred to the Department of Water for comment.
16 <sup>th</sup> October 2015	An email was sent to the applicant requesting that further information be submitted.
30 <sup>th</sup> October 2015	The applicant submitted further information.
3 <sup>rd</sup> November 2015	The development application was referred to surrounding landowners located within 1.5km of the site.
6 <sup>th</sup> November 2015	Due to interest in the proposal the advertising period of the development application was extended and referred to additional surrounding landowners.
23 <sup>rd</sup> November 2015	The advertising period closed.
27 <sup>th</sup> November 2015	A report was prepared for Council.

**THE PROPOSAL**

Lot 6 Great Southern Highway is one of a cluster of privately owned rural zoned lots surrounded by large tracts of land reserved for 'Public Purposes' being the State Forest and Wootatting Nature Reserve. The lot is also located within the Mundaring Weir Catchment Area and is managed for the Priority 2 (P2) water source protection.

The dirt bike track consists of 8 'jumps' constructed of earth mounds created from excess overburden material from the dam. The jumps range in height from 0.39m to 1.32m above natural ground level and connected by dirt trails as depicted on the site plan (refer to Appendix 1).

There is an existing shed located on the north-west portion of the site and a partially built dam located in the centre of the lot. The southern portion of the site is cleared of vegetation while an area of mature native vegetation exists on the northern portion of the lot. It is in the cleared area of the lot that the dirt bike track is proposed to be located so as to minimise the need to remove or damage native vegetation.

The applicant has advised that the track is for the proponent's private use. The proponent, Mr Wolfe currently works as a FIFO worker and attends to the site during his time back in Perth. Therefore, the use of the track will be restricted due to the work roster of the proponent and is proposed to operate up to 26 days a year on Saturdays and Sundays between 10am and 4pm.

**STATUTORY REQUIREMENTS**

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SHIRE OF NORTHAM LOCAL PLANNING SCHEME NO 6

Lot 6 Great Southern Highway, Wootatting is approximately 45 hectares in size and is zoned 'Rural' under Council's Local Planning Scheme No.6 (the Scheme).

Clause 4.2.8 of the Scheme identifies the following objectives for the Rural Zone:

- *To provide for horticulture, extensive and intensive agriculture, agroforestry, local services and industries, extractive industries and tourist uses which ensure conservation of landscape qualities in accordance with the capability of the land.*
- *To protect the potential of agricultural land for primary production and to preserve the landscape and character of the rural area.*
- *To control the fragmentation of broad-acre farming properties through the process of subdivision.*
- *To protect land from land degradation and further loss of biodiversity by:*
  - (i) *Minimising the clearing of remnant vegetation and encouraging the protection of existing remnant vegetation;*
  - (ii) *Encouraging the development of and the protection of corridors of native vegetation;*
  - (iii) *Encouraging the development of environmentally acceptable surface and sub-surface drainage works; and*
  - (iv) *Encouraging rehabilitation of salt affected land.*

The proponent requires development approval from the local government for the following reasons:

- The track involves the construction of earthwork mound 'jumps' that are greater than 0.5m above natural ground level (refer Clause 5.11 of the Scheme); and
- The use of the land for a dirt bike track is defined as 'Recreation – Private' under the Scheme and depicted with the symbol 'A'. This means that the use is not permitted unless the local government has exercised its discretion by granting planning approval after giving special notice in accordance with Clause 64 (3) of Schedule 2, Part 8 of the *Planning and Development (Local Planning Schemes) Regulations 2015*.

The Scheme defines the term 'Recreation – Private' as follows:

***“Recreation - private means premises used for indoor and outdoor leisure, recreation or sport which are not usually open to the public without charge;”***

Schedule 2 Part 9 Clause 67 of the *Planning and Development (Local Planning Schemes) Regulations 2015* (the Regulations) specifies the planning matters to be considered by the local government when determining an application.

The following subsections under Clause 67 of the Regulations are deemed to be matters relevant to the proposal in front of Council:

***“(a) the aims and provisions of this Scheme and any other local planning scheme operating within the Scheme area;***

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- (d) *any environmental protection policy approved under the Environmental Protection Act 1986 section 31(d);*
- (m) *the compatibility of the development with its setting including the relationship of the development to development on adjoining land or on other land in the locality including, but not limited to, the likely effect of the height, bulk, scale, orientation and appearance of the development;*
- (n) *the amenity of the locality including the following —*
  - (i) *environmental impacts of the development;*
  - (ii) *the character of the locality;*
  - (iii) *social impacts of the development;*
- (o) *the likely effect of the development on the natural environment or water resources and any means that are proposed to protect or to mitigate impacts on the natural environment or the water resource;*
- (q) *the suitability of the land for the development taking into account the possible risk of flooding, tidal inundation, subsidence, landslip, bush fire, soil erosion, land degradation or any other risk;*
- (r) *the suitability of the land for the development taking into account the possible risk to human health or safety;*
- (s) *the adequacy of —*
  - (i) *the proposed means of access to and egress from the site; and*
  - (ii) *arrangements for the loading, unloading, manoeuvring and parking of vehicles;*
- (t) *the amount of traffic likely to be generated by the development, particularly in relation to the capacity of the road system in the locality and the probable effect on traffic flow and safety;*
- (x) *the impact of the development on the community as a whole notwithstanding the impact of the development on particular individuals;*
- (y) *any submissions received on the application;*
- (za) *the comments or submissions received from any authority consulted under clause 66;*
- (zb) *any other planning consideration the local government considers appropriate.”*

*Environmental Protection (Noise) Regulations 1997*

Noise is governed by the *Environmental Protection (Noise) Regulations 1997* (the Noise Regulations) with enforcement provisions available to the local authority and police. Under the Noise Regulations, noise is deemed unreasonable if it exceeds a prescribed standard or if the noise unreasonably interferes with the health, welfare, convenience, comfort or amenity of the occupier making the complaint.

*EPA Guidance Statement No.3*

The Environmental Protection Authority (EPA) does not specifically list private dirt bike track activities as a sensitive land use. However the EPA does list raceways for motor vehicles under its *Separation Distances between Industrial and Sensitive Land Uses Guidelines* (2005) as a land use that may potentially affect nearby sensitive land uses (including residential dwellings). The Guidelines advise that separate buffers between

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raceways for motor vehicles should be considered by the local government on a case by case basis due to the potential for noise and dust impacts.

Department of Water

It should also be noted that the lot subject to this application is located within the Mundaring Weir Catchment Area and is managed for the Priority 2 (P2) source protection. Protection of public water supply sources is a high priority in these areas.

The application has been advertised to the Department of Water for comment. The Department of Water advises that they have no objection to the proposal.

**PUBLIC CONSULTATION**

The application was advertised for a period of 14 days in accordance with and Schedule 2 Part 8 Clause 64 (3) of the Regulations.

Officers gave notice of the application on 3<sup>rd</sup> November 2015 to adjoining landowners within 1.5km of the site which was later extended to other landowners in the area with the advertising period closing on 23<sup>rd</sup> November 2015. The application was also advertised on the Shire's website and was available for inspection at the Shire offices.

During the advertising period 7 public submissions were received in total which comprised of 6 objections and 1 non-objection. The application was also referred to the Department of Water for comment and Main Roads WA, who have advised that they have no objection to the proposal.

The submissions generally raised concerns in relation to the bushfire risk and noise impact. These issues have been summarised and are discussed in the attached Schedule of Submissions (refer Appendix 2) and the Officer's Comment section below.

**CONFORMITY WITH THE STRATEGIC COMMUNITY PLAN**

The following objectives in the Shire's Strategic Community Plan has a bearing on this proposal:

- OBJECTIVE N2: Enhance the health and integrity of the natural environment.
- OBJECTIVE N3: Management and protection of water resources.
- OBJECTIVE C1.7: Provide an environment that enhances and builds on the liveability of the Shire.

**BUDGET IMPLICATIONS**

There are no direct financial / budgetary implications for the Shire of the recommendations of this report, however, it should be noted that the Shire may incur legal and State Administrative Tribunal fees in the event the applicant / landowner is aggrieved by this determination and elects to seek a review under Part 14 of the *Planning and Development Act 2005*.

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**OFFICER'S COMMENT**

There is seen to be 5 key issues impacting on the proposal in this specific location, namely:

- Impact on the amenity of the locality;
- Inconsistency with the objectives of the Rural zone as outlined in the Scheme;
- Potential for motorcycle activities to spark a bushfire and proximity to Woottating Nature Reserve;
- Excessive noise caused by the proponent's use of the track; and

Each issue is discussed below, followed by a conclusion.

Impact on the amenity of the locality

Whilst it is acknowledged that the Department of Water does not believe that the proposal will impact upon the Water Catchment Supply area, the proposal is likely to cause other impacts upon the local environment not restricted to dust, noise and bushfire as well as the visual impact of the track and jumps when viewed from adjoining properties and the Great Southern Highway.

Inconsistency with the objectives of the Rural zone as outlined in the Scheme

One of the objectives for the Rural zone as outlined in the Scheme is to protect the potential of agricultural land for primary production and to preserve the landscape and character of the land. The applicant has stated in the application that the proponent does not reside at the property and is not currently undertaking any agricultural land uses on the property.

It is considered that the proposed private recreation use would if approved, become the primary or dominant land use on this lot. The proposed jumps would further encourage recreational motorcycle activities as the primary use for the property for on a regular basis. Furthermore, the proposed earth mound jumps are located in an area that is highly visible from the Great Southern Highway and are considered to detract from the landscape and character of the surrounding area.

Potential for motorcycle activities to spark a bushfire and proximity to Woottating Nature Reserve

Six of the submissions received cited concerns regarding the potential of the motorcycle activities to spark a bushfire. Officers have noted these concerns and have concluded that the proposal presents an unacceptable risk for bushfire as the track is located meters from State Forest Reserves located to the immediate west and south of the subject site.

The proponent does not reside at the property and the high visibility of the track also provides a temptation for members of the public to trespass and ride their motorbikes on the track which could be of high risk during peak bushfire season.

Excessive noise caused by the proponent's use of the track

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A common theme among the submissions received was concerns in relation to excessive noise caused by the proponent's use of the track. Land owners often choose to reside on rural properties for lifestyle reasons and have a reasonable expectation that they will enjoy a certain level of peace and tranquillity.

There are four residences located less than 1km from the proposed track. It is apparent that noise caused by the riding of motorbikes on this lot has resulted in an unacceptable impact upon the amenity of the area. There is a strong likelihood that the proposal will result in an increase in noise related complaints in the vicinity.

It is considered that applicant has failed to submit an acoustic assessment that demonstrates that the proposal will comply with the assigned noise levels under the Noise Regulations. Furthermore, it is unclear if the proponent's motorbike is fitted with a fully functioning muffler to suppress some of the noise generated.

Conclusion

Based on the above, the application is proposing a dirt bike track that is inconsistent with the intentions of the objectives of the rural zone. The applicant has failed to demonstrate that noise and bushfire impacts can be mitigated to a reasonable standard. It is considered that the proposed earthworks are inappropriate on this lot and would detract from the rural amenity and lifestyle due to the increased noise resulting from the dirt bike track.

The application has created substantial unrest in the local community due to the potential negative impact on the amenity and lifestyle of the area and concerns relating to bushfire risk.

Granting the applicant retrospective approval for the use of the dirt bike track would allow the continuation of the current lifestyle enjoyed by the proponent on Lot 6. However, due consideration is required to be given to preserve the amenity of the locality and protect the lifestyle and community expectation of adjoining landowners.

It should be noted that should the application for the earthwork jumps be refused, the proponent can still ride his motor bike on the property, provided that the noise generated by the activity does not exceed the noise limits under the *Environmental Protection (Noise) Regulations 1997* (the Noise Regulations).

It is therefore recommended Council refuse the development application for the reasons outlined in the Officer's Recommendation section of this report. Should Council resolve to approve this application, staff have prepared a list of recommended conditions which can be made available to Council upon request.

**RECOMMENDATION**

**That Council, in respect of the application for development approval received by WKC Spatial on behalf of Mr Steve Wolfe of Red Dog Nominees Pty Ltd for a dirt bike track ('Recreation – Private') at Lot 6 Great Southern Highway**

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**(Chidlow – York Road), refuses to grant development approval for the following reasons:**

- 1. The use is inconsistent with the orderly and proper planning of the locality.**
- 2. The proposal is inappropriate having regard to the objectives of the Rural Zone as outlined under Clause 4.2.8 of the *Shire of Northam Town Planning Scheme 6*.**
- 3. The use would be detrimental to the rural amenity of the area by reasons of -**
  - (a) its incompatibility with the rural character of the locality;**
  - (b) its incompatibility with the aesthetic importance of the scenic landscape and the potential to detrimentally change the scenic rural character of the locality;**
  - (c) the unacceptable risk for bushfire associated with the use of the land for a dirt bike track; and**
  - (d) the use's incompatibility with adjacent and nearby rural and other uses.**

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**ATTACHMENT 1**



**INFORMATION FOR PLANNING APPLICATION**

**LAND USE**

Lot 6 Great Southern Highway (Chittering – York Road)  
Woottating  
October 2015

WKC Spatial Reference: 11848

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**Figures**

Figure 1 – Locality Plan

Figure 2 – Zoning Plan

Figure 3 – Site Plan

Figure 4 – Photos 1-7

Figure 5 – Certificate of Title

# SHIRE OF NORTHAM

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### COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015

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#### 1. Information

The owner of Lot 6 Great Southern Highway, Woottating has engaged WKC Spatial to act on their behalf. This report has been prepared to support an application submitted to the Shire of Northam for the proposed land use of a personal use dirt bike track.

Our client received a letter from the Shire of Northam to advise that earthworks that alter the ground level by more than 0.5m requires planning approval. A dirt bike track is existing on the land with jumps which are more than 0.5m high.

The following matters have been identified throughout this report:

- Location and description of the site and existing land use,
- Detailed report of the proposed land use,
- Justification of the land use,
- Relevant Management Plans.

# SHIRE OF NORTHAM

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## 2. Site Description

### 2.1 Location

The site is located within the Municipality of the Shire of Northam. Situated in Inkpen, the lot is bounded by the Great Southern Highway to the south and existing rural land to the north, east and west. State Forest partially bounds the western boundary and the southern boundary of the Great Southern Highway.

Figure 1 – Locality Plan

### 2.2 Cadastral Information

The subject site is known as Lot 6 Great Southern Highway, Woottating more fully described as Lot 6 on Plan 2190 contained within Certificate of Title Volume 1950 Folio 761. The lot has a total area of 45.06 hectares. Registered owner is Red Dog Nominees Pty Ltd and the representative, Steve Wolfe. A 10m wide Access Easement is located along the eastern boundary of the site, benefitting the owners of Lot 7, 1625 Great Southern Highway, Woottating.

Figure 2 – Zoning Plan

### 2.3 Existing Features

The existing site currently contains an existing shed to the north west of the site and a spring fed, partially built dam located more central: See Photo 1. Vegetation is scattered over the site. Current vegetation is clearly evident from the site plan and aerial imagery underlying. It comprises mostly sparse mature trees in the southern half, with thicker scrub and mature trees to the north.

The property is crossed by a wide drainage flat traversing from west to east. The land slopes gently from road frontage to the drainage flat then moderately rising from the flat to the rear boundary.

**SHIRE OF NORTHAM**  
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### 3. Description of Proposal

The subject site is currently in ownership of Red Dog Nominees and has been used for private use by the Wolfe family. An area of the site, located centrally was developed to create a dirt bike track for the use of the Wolfe family, in particular Mr Steve Wolfe. Mr Wolfe is a keen dirt bike rider and therefore wanted to continue his passion for the sport by creating a circuit for his personal use.

Figure 3 provides a schematic view of the property and its improvements and land use. Photos are included to provide the viewer a better understanding of the recreational dirt bike track. The location of the photos is discernible from Figure 3. Earthworks to build the jumps and bends are generally minor, with heights generally less than a metre.

Each of these jumps have been created using existing material available from the site most of which was overburden from the dam. No vegetation has been removed or damaged on site. The location of the track was designed to negate any bushfire risk.

The track will not be for public use and the hours of operation will be limited to lessen the impact on neighbouring rural properties and to comply with noise regulations. Mr Wolfe currently works as a fly in fly out on a roster of 3 weeks on and 3 weeks off. He attends to the site during his time back in Perth. The periods of use will be restricted due to the working pattern of the owner, during daylight hours.

# SHIRE OF NORTHAM

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#### 4. Town planning considerations

##### 4.1 Zoning of the land

###### Shire of Northam Local Planning Scheme No.6

Under the Shire of Northam Local Planning Scheme No.6 the site is zoned 'Rural'. The requirements of this zone are as follows:

###### Rural Zone

To provide for horticulture, extensive and intensive agriculture, agroforestry, local services and industries, extractive industries and tourist uses which ensure conservation of landscape qualities in accordance with the capability of the land.

To protect the potential of agricultural land for primary production and to preserve the landscape and character of the rural area.

To control the fragmentation of broad-acre farming properties through the process of subdivision.

To protect land from land degradation and further loss of biodiversity by:

- (i) Minimising the clearing of remnant vegetation and encouraging the protection of existing remnant vegetation;
- (ii) Encouraging the development of and the protection of corridors of native vegetation;
- (iii) Encouraging the development of environmentally acceptable surface and sub-surface drainage works; and
- (iv) Encouraging rehabilitation of salt affected land.

The current use of the site is rural grazing and 'Recreation – Private' which is identified as follows:

**Recreation Private:** *Premises used for outdoor or indoor leisure, recreation or sport which are not usually open to public without charge.*

This Class A land use is required to be advertised to the public under Table 1: Zoning Table of the Local Planning Scheme 6.

##### 4.2 Compliance of the land use with Rural Zoning requirements

The proposed land use complies with the requirements of Rural zoning in the following ways:

- The use of the track is for private use only and will not be opened for public use at any time.

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- There will be no clearing of vegetation. The track has been designed in harmony with current vegetation on site.
- The land use does not involve subdivision of the land or fragmentation of broad acre farming. The landowner's intentions are to retain the existing property in its current size and shape, necessary to enjoy his chosen recreational activity and to allow grazing by stock.
- The use allows continuation of rural pursuits on the subject lot and adjoining properties. Eg: cattle grazing and other livestock. Significant land is available on site to enable stock to graze undisturbed by the recreational pursuit.

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#### 5. Management Plans

##### 5.1 Noise Management Plan

Noise management will be controlled in the following ways:

- Restricted use times to comply with noise regulations within the area and prevent unreasonable disturbances.
- The lot owners current work roster restricts the days in which the track will be in use.
- The track is located 500 meters from the nearest neighbouring residential dwelling and will have no major impact when in operation. There is significant vegetation between the location of the dirt bike track and the neighbouring residential dwelling to act as a sound barrier when the track is in use.
- The lot is bounded by the Great Southern Highway which is a main transport corridor currently generating noise from road vehicles. When the track is in use, the bikes will not generate any more noise than the traffic passing by.
- Forest to the south and west are commonly used by trail bike riders for recreation. Numbers here generate significantly greater noise than the private track.

##### 5.2 Dust Management Plan

Dust management will be controlled in the following ways:

- The frequency of the use of the track will not generate an extensive amount of dust that will have any impact on the surrounding area.
- Access to the lot is via an existing driveway on the western boundary which will be used by all vehicles.
- One bike will be in operation at a time.
- Sandy soils are predominant, airborne particles will quickly fall to ground.

##### 5.3 Waste Management Plan

Waste Management will be controlled in the following ways:

- As the use of the site is private, no significant waste will be generated that will have any concern.
- All waste will be disposed of in an appropriate manner
- The Shire of Northam provide Waste Management facilities which the lot owner will avail of. The nearest facility is located at Inkpen Waste Management Facility which is in close proximity to the subject site.
- No waste will be burned or buried on site.
- Any refuelling or oil changing will be carried out in the shed with temporary bunding traps in place to ensure spills are contained.

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**6. Conclusion**

This report supports an application for the approval of a dirt bike track in use at Lot 6 Great Southern Highway, Woottating. The use class of the land is 'Recreation – Private' under the Shire of Northam Local Planning Scheme No.6 and is zoned Rural.

The track complies with the objectives outlined in the LPS6 for the Rural zone and satisfies all relevant town planning considerations. The use does not have unreasonable impact on the surrounding properties nor does it significantly impact the local environment. The track is partially visible from the Great Southern Highway and results in no visual disturbance.

The sole purpose of this bike track is for the enjoyment of an existing hobby in an area where there are no major concerns. Therefore, we request that the Shire of Northam, following assessment, provide approval for this application based on the information provided.

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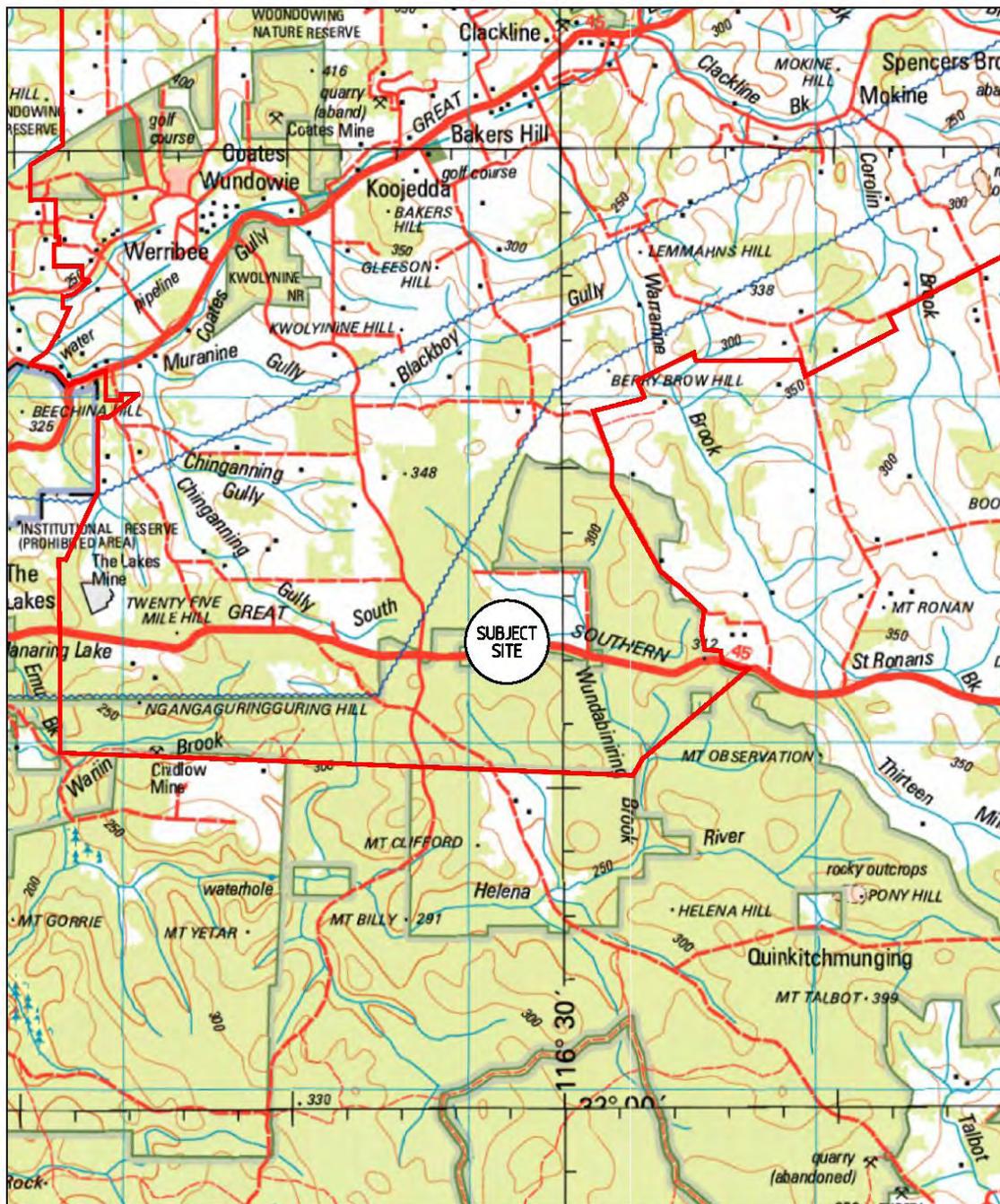
## FIGURES

Lot 6 Great Southern Highway (Chittering – York Road)  
Woottating

# SHIRE OF NORTHAM

## AGENDA

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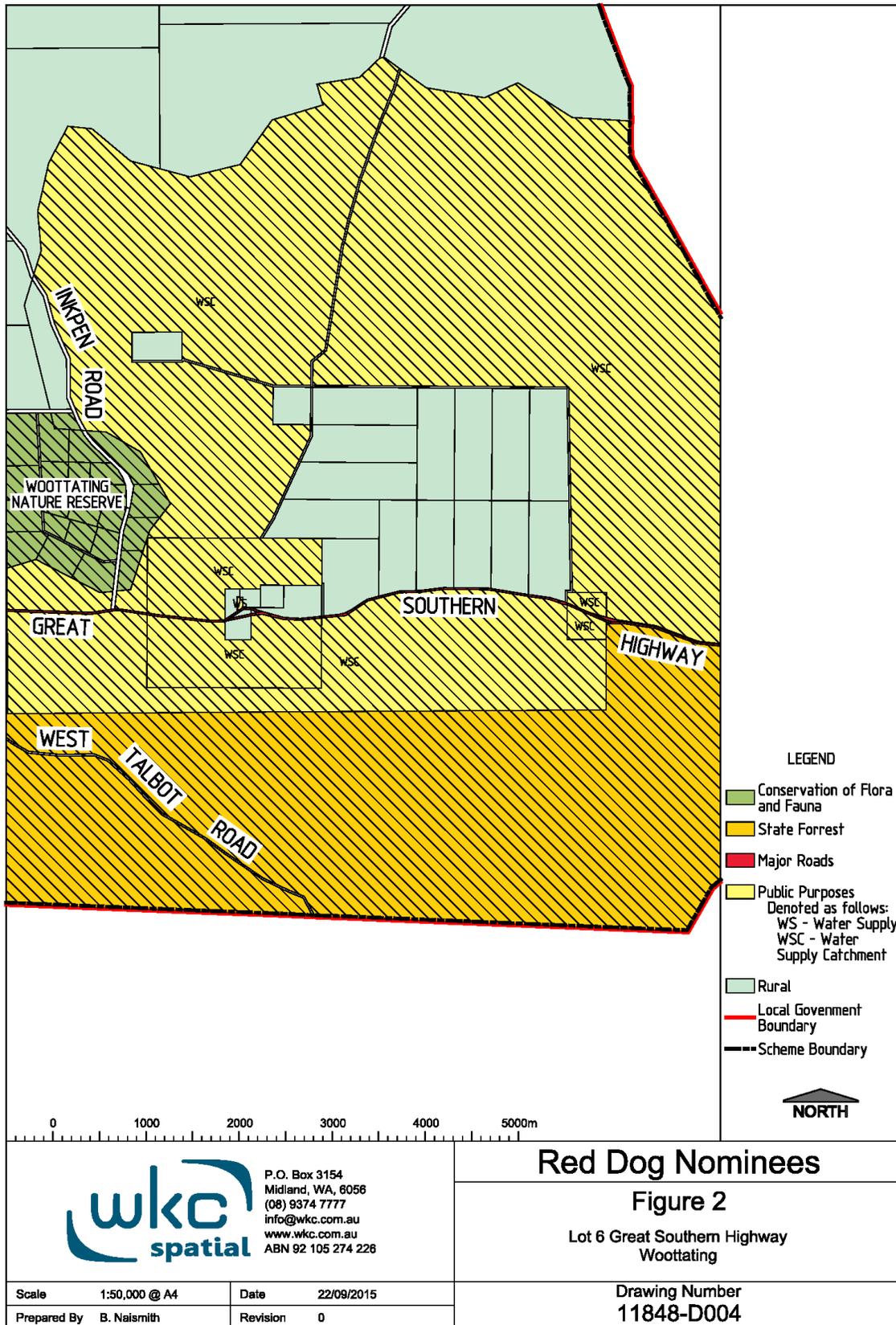
		
		<b>Red Dog Nominees</b> <b>Figure 1</b> Lot 6 Great Southern Highway Woottating
P.O. Box 3154 Midland, WA, 6056 (08) 8374 7777 info@wko.com.au www.wko.com.au ABN 92 105 274 226	Scale 1:150,000 @ A4 Date 22/09/2015 Prepared By B. NalSmith Revision 0	Drawing Number <b>11848-D003</b>

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# SHIRE OF NORTHAM

## AGENDA

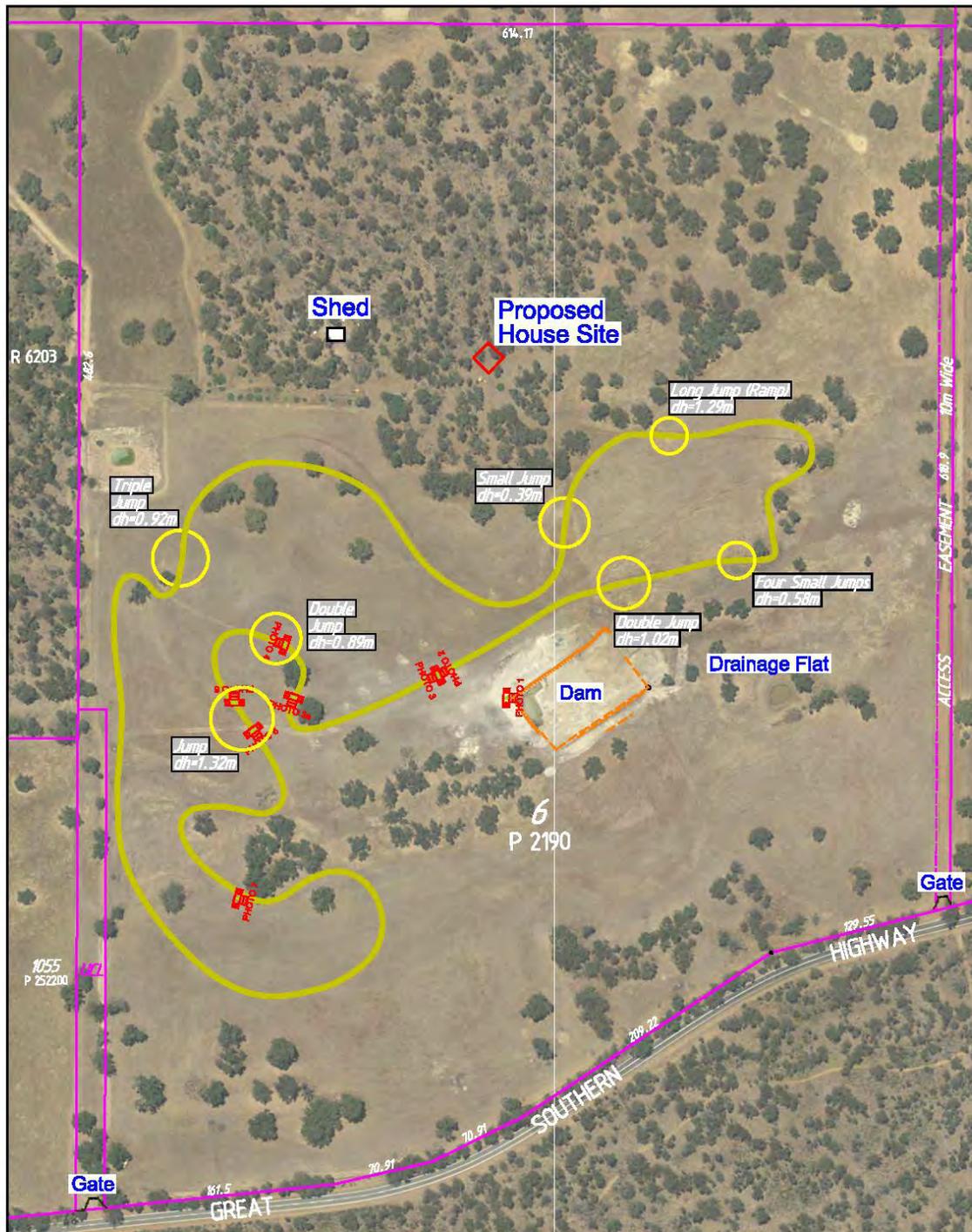
### COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015



# SHIRE OF NORTHAM

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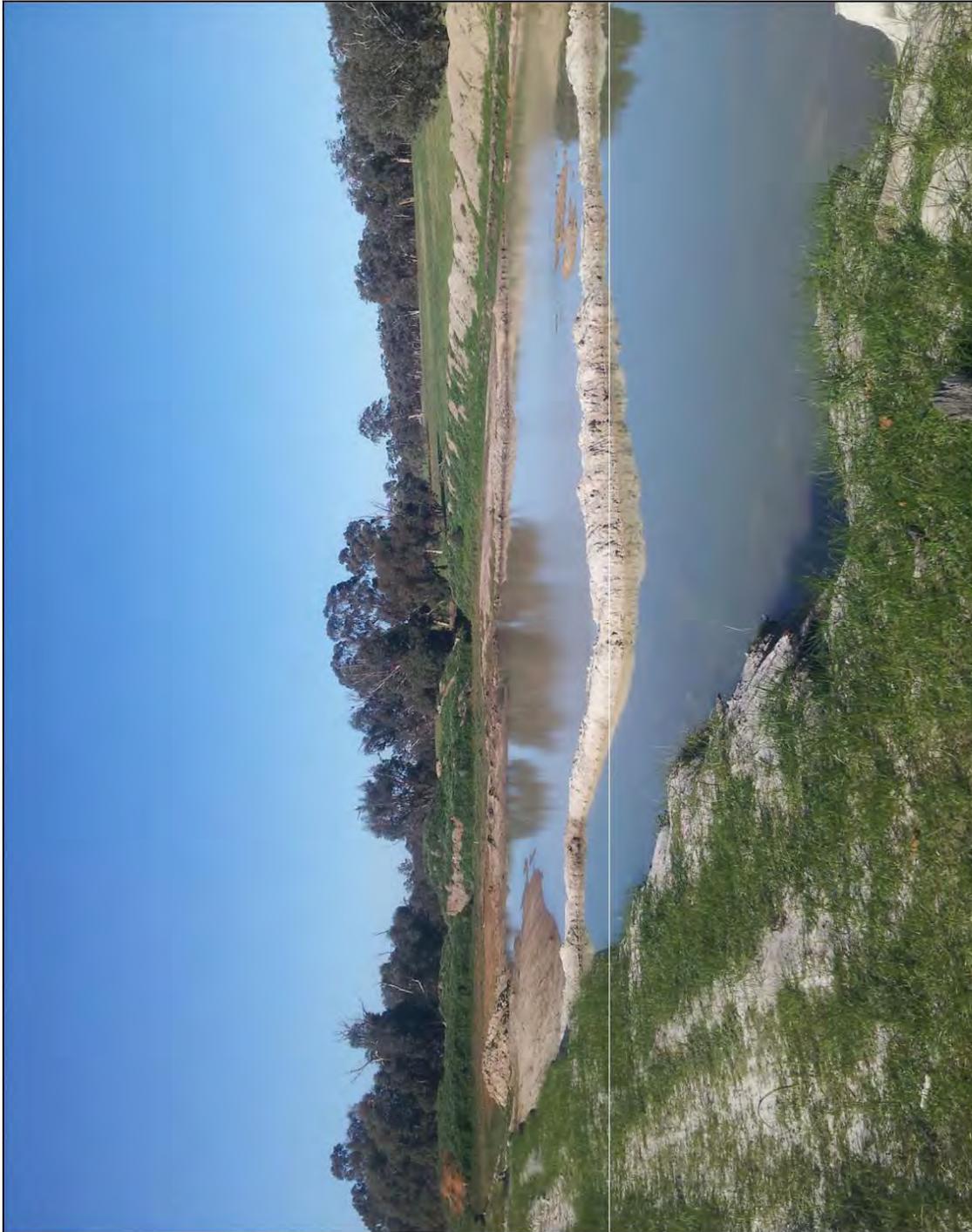


<div style="display: inline-block; vertical-align: middle; margin-left: 10px;"> <p>P.O. Box 3154 Midland, WA, 8056 (08) 9374 7777 info@wkc.com.au www.wkc.com.au ABN 92 105 274 226</p> </div>		<p><b>Red Dog Nominees</b></p>
		<p><b>Figure 3</b> Lot 6 on P 2190 Great Southern Highway, Woodtating Top of Jumps - Heights from Natural Surface</p>
Scale	Date	Drawing Number
Prepared By <b>B. Naismith</b>	21/08/15	<b>11848-D002</b>
	Revision <b>A</b>	

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 <p>P.O. Box 3154          Midland, WA, 6056          (08) 9374 7777          info@wkc.com.au          www.wkc.com.au          ABN 92 105 274 226</p>		<b>Red Dog Nominees</b>	
		<b>Photo 1</b> Lot 6 Great Southern Highway Woottating	
Scale	N/A	Date	22/09/2015
Prepared By	B. NalSmith	Revision	0
		Drawing Number <b>11848-D005</b>	

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 P.O. Box 3154 Midland, WA, 6056 (08) 9374 7777 info@wkc.com.au www.wkc.com.au ABN 92 105 274 226		<b>Red Dog Nominees</b>	
		<b>Photo 2</b> Lot 6 Great Southern Highway Woottating	
Scale	N/A	Date	22/09/2015
Prepared By	B. NalSmith	Revision	0
		Drawing Number <b>11848-D006</b>	

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 <p style="font-size: small;">P.O. Box 3154  Midland, WA, 6056  (08) 9374 7777  info@wkc.com.au  www.wkc.com.au  ABN 92 105 274 226</p>		<b>Red Dog Nominees</b>	
		<b>Photo 3</b> Lot 6 Great Southern Highway Woottating	
<b>Scale</b>	N/A	<b>Date</b>	22/09/2015
<b>Prepared By</b>	B. NalSmith	<b>Revision</b>	0
		<b>Drawing Number</b> <b>11848-D007</b>	

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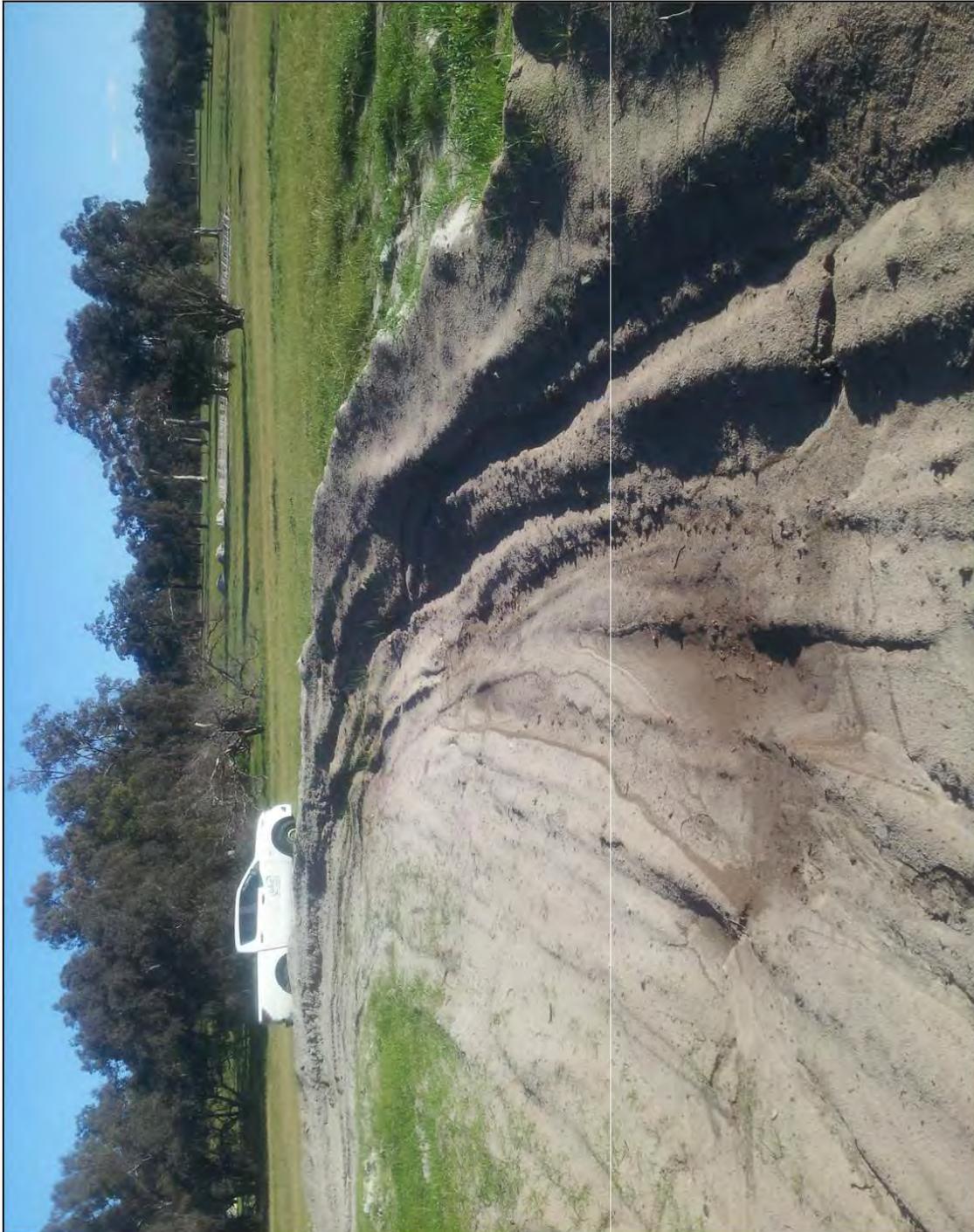
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		P.O. Box 3154 Midland, WA, 6056 (08) 9374 7777 info@wkc.com.au www.wkc.com.au ABN 92 105 274 226		<b>Red Dog Nominees</b>	
				<b>Photo 4</b>  Lot 6 Great Southern Highway Woottating	
<b>Scale</b>	N/A	<b>Date</b>	22/09/2015	<b>Drawing Number</b> <b>11848-D008</b>	
<b>Prepared By</b>	B. NalSmith	<b>Revision</b>	0		

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 <p style="font-size: small; margin: 0;">P.O. Box 3154  Midland, WA, 6056  (08) 8374 7777  info@wkc.com.au  www.wkc.com.au  ABN 92 105 274 226</p>		<b>Red Dog Nominees</b>	
		<b>Photo 5</b>  Lot 6 Great Southern Highway Woottating	
Scale	N/A	Date	22/09/2015
Prepared By	B. NalSmith	Revision	0
		<b>Drawing Number</b> <b>11848-D009</b>	

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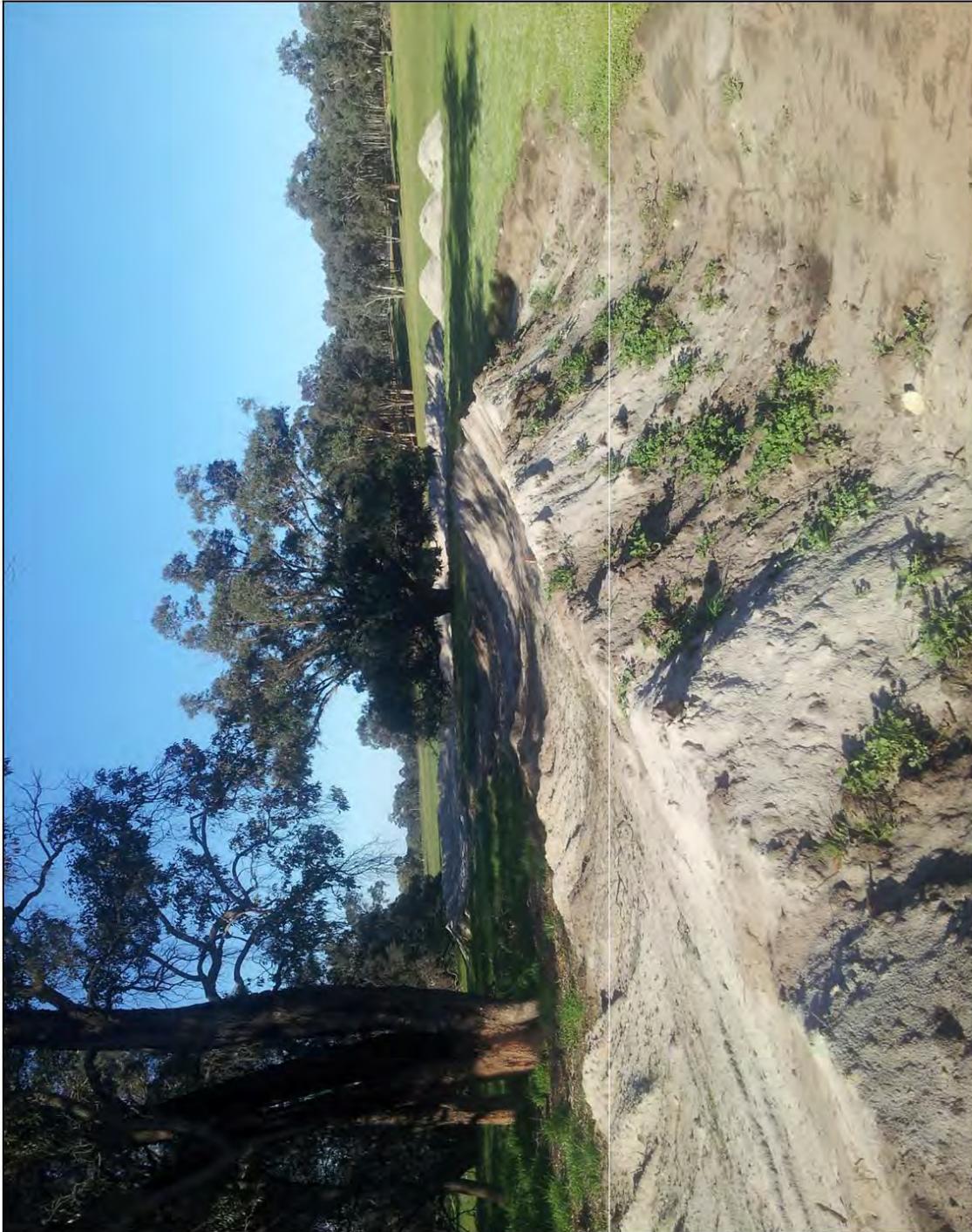
**SHIRE OF NORTHAM**  
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 P.O. Box 3154 Midland, WA, 6056 (08) 9374 7777 info@wkc.com.au www.wkc.com.au ABN 92 105 274 226		<b>Red Dog Nominees</b>	
		<b>Photo 6</b> Lot 6 Great Southern Highway Woottating	
Scale	N/A	Date	22/09/2015
Prepared By	B. NalSmith	Revision	0
		Drawing Number <b>11848-D010</b>	

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 P.O. Box 3154 Midland, WA, 6056 (08) 8374 7777 info@wkc.com.au www.wkc.com.au ABN 92 105 274 226		<b>Red Dog Nominees</b>	
		<b>Photo 7</b> Lot 6 Great Southern Highway Woottating	
Scale	N/A	Date	22/09/2015
Prepared By	B. NalSmith	Revision	0
		<b>Drawing Number</b> <b>11848-D011</b>	

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WESTERN



AUSTRALIA

REGISTER NUMBER <b>6/P2190</b>	
DUPLICATE EDITION <b>2</b>	DATE DUPLICATE ISSUED <b>22/2/2011</b>

**RECORD OF CERTIFICATE OF TITLE**  
UNDER THE TRANSFER OF LAND ACT 1893

VOLUME **1950** FOLIO **761**

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limit contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.

REGISTRAR OF TITLES



**LAND DESCRIPTION:**

LOT 6 ON PLAN 2190

**REGISTERED PROPRIETOR:**  
(FIRST SCHEDULE)

RED DOG NOMINEES PTY LTD OF 9 ADELAIDE CRESCENT HELENA VALLEY  
(T L554028 ) REGISTERED 15 FEBRUARY 2011

**LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS:**  
(SECOND SCHEDULE)

1. THE LAND THE SUBJECT OF THIS CERTIFICATE OF TITLE EXCLUDES ALL PORTIONS OF THE LOT DESCRIBED ABOVE EXCEPT THAT PORTION SHOWN IN THE SKETCH OF THE SUPERSEDED PAPER VERSION OF THIS TITLE, VOL 1950 FOL 761.
2. F230867 EASEMENT BURDEN SEE SKETCH ON VOL 1950 FOL 761, REGISTERED 28.6.1993.

Warning: A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.  
\* Any entries preceded by an asterisk may not appear on the current edition of the duplicate certificate of title.  
Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF TITLE-----

**STATEMENTS:**

The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND: 1950-761 (6/P2190).  
PREVIOUS TITLE: 1404-628.  
PROPERTY STREET ADDRESS: NO STREET ADDRESS INFORMATION AVAILABLE.  
LOCAL GOVERNMENT AREA: SHIRE OF NORTHAM.

**SHIRE OF NORTHAM**  
**AGENDA**  
**COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015**

ORIGINAL—NOT TO BE REMOVED FROM OFFICE OF TITLES

LT. 37

Application F87079  
 Volume 1404 Folio 628

WESTERN



AUSTRALIA

REGISTER BOOK  
 VOL. FOL.

**CT 1950 761**



**CERTIFICATE OF TITLE**

UNDER THE "TRANSFER OF LAND ACT, 1893" AS AMENDED

I certify that the person described in the First Schedule hereto is the registered proprietor of the undermentioned estate in the undermentioned land subject to the easements and encumbrances shown in the Second Schedule hereto.

Dated 15th January, 1993

REGISTRAR OF TITLES



ESTATE AND LAND REFERRED TO

Estate in fee simple in portion of Avon Location 1881 and being part of Lot 6 on Plan 2190, delineated on the map in the Third Schedule hereto.

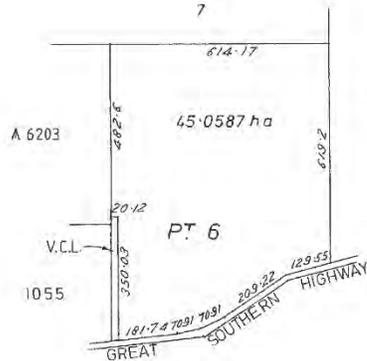
FIRST SCHEDULE (continued overleaf)

Boyce Eric Donegan of Lot 26 Princess Road, Mount Helena.

SECOND SCHEDULE (continued overleaf)

NIL

THIRD SCHEDULE



NOTE: ENTRIES MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS.

E87590/3/89-20M-L/4664

# SHIRE OF NORTHAM

## AGENDA

### COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015

LT. 37

Page 2 (of 2 pages)

**FIRST SCHEDULE (continued)**      NOTE: ENTRIES MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS

REGISTERED PROPRIETOR	INSTRUMENT NUMBER	REGISTERED NUMBER	REGISTERED TIME	SEAL	CERT. OFFICER
Superseded - Copy for Sketch Only					

**SECOND SCHEDULE (continued)**      NOTE: ENTRIES MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS

INSTRUMENT NUMBER	PARTICULARS	REGISTERED	TIME	SEAL	CERT. OFFICER
Transfer F230867	 <p>A right of carriageway over the portion of the within land marked 'A' on the map in the margin as set out in the said Transfer is granted to the proprietor or proprietors for the time being of Lot 7 on Plan Z190.</p>	28.6.93	12.22		

CERTIFICATE OF TITLE VOL1950 FOL761

**SHIRE OF NORTHAM**  
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**ATTACHMENT 2**



**ADDITIONAL INFORMATION FOR PLANNING  
APPLICATION**

**CLASS A LAND USE  
PRIVATE RECREATION**

Lot 6 Great Southern Highway (Chittering – York Road)  
Woottating

October 2015

WKC Spatial Reference: 11848

**SHIRE OF NORTHAM**  
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2. Bushfire Risk.....	3
3. EPA Separation between Industrial & Sensitive Land Uses Guidelines .....	4
4. Conclusion.....	4

**Figures**

Figure 3 – Site Plan: Track Setback distances

Figure 4 – Structures within 1km Buffer Zone

**SHIRE OF NORTHAM**  
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**1. Operational times**

The applicant, Mr Steve Wolfe, advises his private recreation bike track is proposed to be used on Saturdays only. Hours of use will be restricted to between 10am and 4pm. Within this timeframe, Steve will be having a 30 minute break every two hours.

The applicant is employed FIFO, currently working a roster of 3 weeks on and 3 weeks off. Therefore, with this roster, the track will not be used often. It will be used only 26 days a year, quite seldom for a private recreational use. Additionally, the hours of operation will limit total use to just 5 hours for each of those 26 days. The track will not be in use early morning, late afternoon or night time, reducing the possibility of disturbances to surrounding residential dwellings.

**2. Bushfire Risk**

Mr Wolfe has advised that on site there is a suitable water supply should a bushfire arise. There are two firefighting units available for use should they be required. 800l and 400l units are maintained regularly and on standby on site. As there is a dam located on site, water is also able to be sourced from this area if required. Mr Wolfe is enquiring about keeping livestock on the land to reduce the grass growth. The use of livestock on the land will help to reduce fuel and potential fire hazard.

The applicant is aware there will be days in which a total fire ban will be in place and has advised he will not be using the track on these days due to the unacceptable risk. There are perimeter boundary firebreaks in place on the site to isolate any outbreaks from within. Figure 3 shows the setback distances from the lot boundaries to bike track critical points.

Vegetation is scattered over the middle to southern part of the site where the private recreational use is proposed. The applicant will maintain the site, keeping it clean and tidy. He will take all reasonable measures to minimise the risk of any fire outbreak and to negate or contain it within his property in the unlikely event of fire occurring.

**SHIRE OF NORTHAM**  
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**3. EPA Separation between Industrial & Sensitive Land Uses Guidelines**

Our initial report submission, Section 5 covers Noise Management concerns in relation to location of the bike track in proximity to surrounding dwellings. In this addendum, Figure 4 shows the position of surrounding dwellings within a 1km radius. There are four residential dwellings within this radius, the closest being about 370m from the track. There is significant vegetation between the track and this residential dwelling, acting as a sound barrier. Topography further reduces any noise impact, that particular house sited on a north easterly facing down slope, the track at the bottom of a southerly slope. The other residential dwellings in the area are located more than 500m from the track. We feel this is a satisfactory distance and will prevent any disturbance.

Under the EPA Separation between Industrial & Sensitive Land Use Guidelines, the Shire of Northam suggests this particular land use as included under "raceways for motor vehicles". Raceways for motor vehicles are described as "speedways and drag strips" under the EPA Guidelines. Each land use is assessed on a case by case basis with noise and dust impact being the main areas of concern. The use of the site under application is 'Recreation – Private', allowing personal recreation which is not open to the public. The applicant has created the track for personal use which does not fall under the classification of speedways or drag strips. Therefore we feel assessment under these guidelines is not applicable to this application. It is noted the guidelines do not provide a buffer distance for this use.

**4. Conclusion**

This additional information further supports the approval of a dirt bike track for private use at Lot 6 Great Southern Highway, Woottating. The track complies with the objectives of the Local Planning Scheme and does not create any unreasonable impact to surrounding residential dwellings or the rural neighbourhood by way of excessive noise or fire hazard.

**SHIRE OF NORTHAM**  
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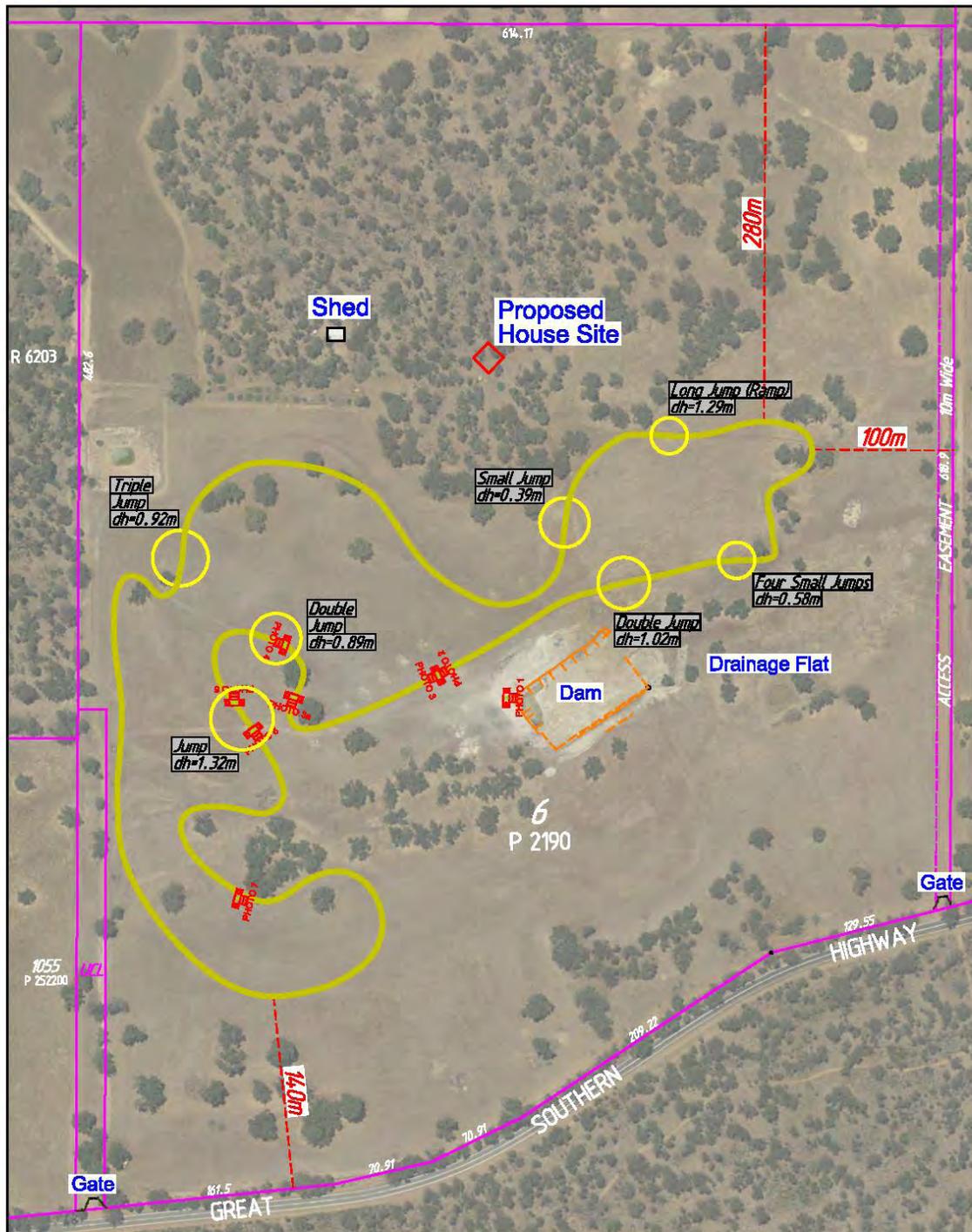
## FIGURES

Lot 6 Great Southern Highway (Chittering – York Road)  
Woottating

# SHIRE OF NORTHAM

## AGENDA

### COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015



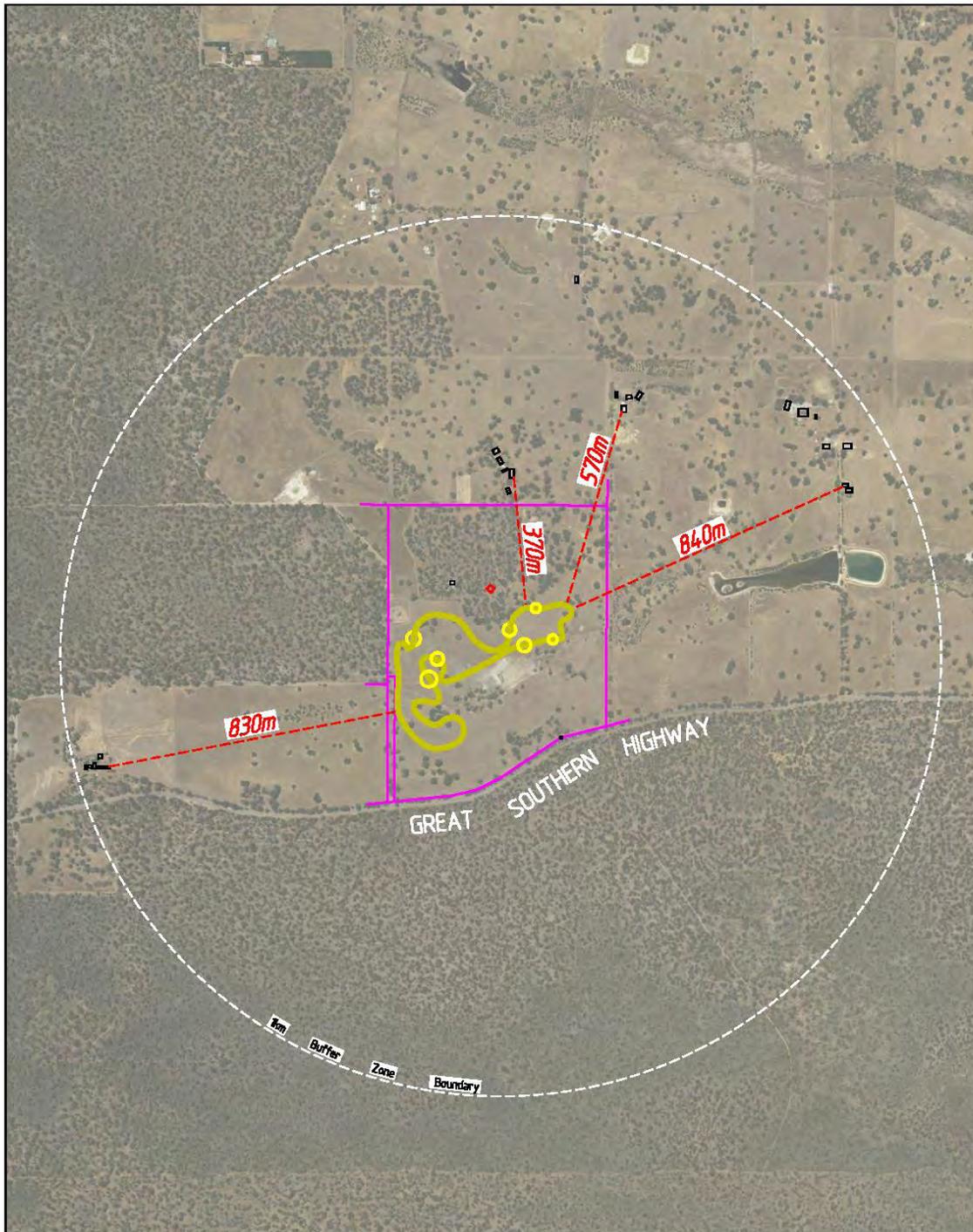
	P.O. Box 3154 Midland, WA, 8056 (08) 9374 7777 info@wkc.com.au www.wkc.com.au ABN 92 105 274 226	<b>Red Dog Nominees</b>  <b>Figure 3</b> Lot 6 on P 2190 Great Southern Highway, Woodtating Top of Jumps - Heights from Natural Surface
	Scale 1:3500 Approx.      Date 30/10/15 Prepared By B. Naismith      Revision B	Drawing Number <b>11848-D002</b>

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# SHIRE OF NORTHAM

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		<b>Red Dog Nominees</b>	
		<b>Figure 4</b> Lot 6 on P 2190 Great Southern Highway, Woottatting Structures within 1 km Buffer Zone	
Scale	1:14000 Approx.	Date	30/10/15
Prepared By	B. Naismith	Revision	B
		Drawing Number <b>11848-D012</b>	

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**Shire of Northam Local Planning Scheme No.6**

**Proposed Change of Use - Private Recreation (Motorcycle Track) - Lot 6 Great Southern Highway, Wootatting**  
**Schedule of Submissions**

Number	Name	Summary of Submission	Key Themes Identified in Submission	Applicants Response	Officers Comment
1	Sim & Alison Kuiper 510 Chinganning Road, Copley	We are property owners in the district and Sim is captain of the local volunteer bushfire brigade. We are concerned about the proposed dirt bike track on Lot 6 as the fire risk with very high flammable fuel loads ie. tall wild oats growing less than 1 metre from the track <u>and</u> high revving motors is an inferno waiting to happen. Our volunteers don't need this!	Bushfire Risk	Fire risk negated or minimised by not using activity on days of high fire danger or unacceptable risk. Grasses will be kept low by livestock and ensured low prior to participating in the private recreational use. Hand and mechanical clearing methods will also be utilised, such as raking and mowing. Sufficient water to be available for fire fighting purposes at all times.	The submission is noted.  Officers have noted these concerns and have concluded that the proposal presents an unacceptable risk for bushfire, this is one of the reasons for Officers recommending refusal of this application.
2	Soren Neilson from the Inkpen Bushfire Brigade	Increased Fire Risk, Noise and Property Devaluation.  Fire risk from bikes crashing off motor cross tracks into grass. I can hear them from my place and it must be terrible for residents closer. Does the Shire have any way to enforce the private use - one bike only if it is approved?	Bushfire Risk, Noise	Fire risk commentary in 1 above. Submitter does not include address to properly assess noise impact on own residence. Applicant has stated	The submission is noted.  The proponent is bound to comply with the <i>Environmental (Noise) Protection Regulations 1997</i> . Officers have noted

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				when and how private recreation activity will be used in submitted report. Applicant stands by such submission.	these concerns regarding noise impacts and have concluded that the proposal could have an unacceptable impact upon the amenity of the surrounding area and is one of the reasons for Officers recommending refusal of this application.  Section 10.2 of LPS6 details matters to be considered by the Local Government when assessing an application and making a determination, impact on property value is not a detailed consideration, therefore, cannot contribute to making a determination on this application.
<b>3</b>	Relaine Pty Ltd Lot 11 Wundabiniring Road, Wootatting	Noise, devaluation of property, fire risk, allows for more noise once permit granted. Creates more motorbikes into the water catchment area.  At the moment the young person requesting permission has already built a track and altered the Wundabinring Brook without permission. Can you	Bushfire Risk, Noise, Environment al Impact	Fire risk commentary in 1 above. Noise impact on resident not explained but Wundabiniring Road closest point to subject site is 2.0km as the crow flies. Submitter suggests	The submission is noted.  The proponent is bound to comply with the <i>Environmental (Noise) Protection Regulations 1997</i> . Officers have noted these concerns regarding

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		<p>imagine what this would turn out to be if granted.          No Thanks!</p>		<p>approval will allow more noise but does not stipulate what background noises already impact or how such will be increased. Submitted report advises use times as stated in 2 above. Motor bikes in use on other properties or forest in area are not the subject of this application but are relevant by the typical background noises already existing.</p>	<p>noise impacts and have concluded that the proposal could have an unacceptable impact upon the amenity of the surrounding area and is one of the reasons for Officers recommending refusal of this application.</p> <p>Officers have noted these concerns and have concluded that the proposal presents an unacceptable risk for bushfire.</p> <p>The Department of Water has advised that they have no objection to the proposal.</p>
<b>4</b>	<p>TW &amp; GJ Harrison          Lot 7 Great Southern Hwy,          Wootatting</p>	<p><b>Town Planning and Topographic Consideration</b>          The proposal does not meet some of the requirements for sites zoned “Rural” in the SON Local Planning Scheme 6 as listed on the application. The dirt bike track does nothing to “ensure conservation qualities in accordance with the capability of the land”. It visually spoils the landscape</p>	<p>Intentions of the zoning,          Noise,          Bushfire.</p>	<p>This application is to allow the private recreational additional use of property primarily used for farming and as a family residence.</p>	<p>The submission is noted.</p> <p>The Shire does not have any approvals on record for a ‘residence’ on Lot 6 Great Southern Highway. It is considered that the proposed dirt track is the</p>

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		<p>and a major part of it is clearly seen from the Great Southern Hwy.          According to the application, the Planning Scheme also aims "to protect the land from land degradation" The western end of the track runs directly down the slope and wheel tracks are already evident. There is significant potential for water erosion to occur down this portion of the track. This is also a consideration on parts of the northern portion of the track where it runs more diagonally up the slope. Additionally the wide drainage flat referred to in the application is actually the source of Wundabiniring Brook which runs east through adjacent farm land into the Water Catchment. Both water quality and flow could be compromised by the track which is totally unacceptable given declining run off into the catchment area.</p> <p><b>Noise issues</b>          Noise regulation is covered by the <i>Environmental Protection Act 1986</i> (the "EP Act") and regulations made under the EP Act such as the <i>Environmental Protection (Noise) Regulations 1997 (WA)</i> (the "Noise Regulations"). According to the EP Act, noise is defined as unreasonable if:</p> <ul style="list-style-type: none"> <li>• It is emitted in contravention of the EP Act; or any subsidiary legislation made under the EP Act; or any requirement or permission made or given under the EP Act (s.3(3)(a)) or</li> <li>• Having regard to the nature and duration of the noise emissions, the frequency of similar noise emissions from the same source and the time of day at which the noise is emitted,</li> </ul>		<p>The track constructed by the applicant has been designed to generally follow the contours and avoid vegetation as far as possible. It is used in a mostly clockwise direction around the north to south moderate downward slope and across the wide drainage flat.          The DoW advise no objection to the proposed land use.</p>	<p>primary land use of the lot and is inconsistent with the intentions of the rural zoning and is one of the reasons for Officers recommending refusal of this application.</p> <p>The Department of Water has advised that they have no objection to the proposal.</p> <p>Officers have noted these concerns regarding noise impacts and have</p>
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		<p>the noise unreasonably interferes with the health, welfare, convenience, comfort or amenity of any person (s.3(3)(b)) or</p> <ul style="list-style-type: none"> <li>• It is prescribed to be unreasonable by the Noise Regulations (s.3(3)(c)).</li> </ul> <p>The Noise Regulations make specific reference to rural premises in regulation 12. The term “rural premises” refers to premises used primarily for pastoral or agricultural purposes on land classified or zoned agricultural or rural use, or for rural lifestyle living, under a planning scheme as defined in <i>Planning and Development Act 2005</i> section 4(1) (r2(1)). As previously stated, Lot 6 Great Southern Hwy is zoned rural making it subject to this section of the Noise Regulations. Regulation 7 assigns levels of noise permissible in certain circumstances and emissions exceeding the assigned level are deemed unreasonable and an offence under the EA Act. Regulation 7 does not apply to noise emitted from a farming vehicle on rural premises at any time between sunrise and sunset if the farming vehicle complies with sub-regulation(5), namely that its noise reduction system has been maintained to a reasonable standard (r12(3),r12(5)). A dirt bike used for recreational purposes does not fit the definition of a farming vehicle namely a motor vehicle which is used for, or in association with, soil preparation and cultivation, land drainage and water management, crop seeding and planting, crop spraying and fertilisation, pest management, produce harvesting or stock management (r12(1)). Compliance with regulation 7 is, therefore, applicable. Mr Wolfe</p>	<p>Applicant has stated when and how private recreation activity will be used in submitted report. Applicant stands by such submission. Background noise sources have been stated in the submitted report, including highway noise and trail bike riders in surrounding forests. Topography and vegetation assists in suppression of noise generated.</p>	<p>concluded that the proposal could have an unacceptable impact upon the amenity of the surrounding area and is one of the reasons for Officers recommending refusal of this application.</p>
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		<p>should demonstrate by undertaking compliant measuring activities that noise emissions will never exceed the assigned level to become “unreasonable” and thus an offence under the EP Act.</p> <p>Section 3(3)(b) of the EP Act is of particular significance to the residents of neighbouring dwellings with loss of amenity to figuring highly. Mr Wolfe’s previous use of the track has already affected this. The application makes reference to Mr Wolfe’s continuing “enjoyment”, but does not adequately address how it has not already had, or will fail to have, a negative impact on neighbouring residences. More specifically:</p> <ul style="list-style-type: none"><li>• Topography and distance of dwellings from the dirt bike track has not prevented disturbance being caused to residents when the track has been used in the past and residents up to 2km distance have reported hearing persistent noise.</li><li>• According to the application, the amount of days the dirt bike track will be used is currently restricted by Mr Wolfe’s working roster. Should his situation change there is no guarantee that Mr Wolfe’s use would be restricted to 26 days per year.</li><li>• It is proposed that 6 hours of continuous noise would only be broken by two half hour breaks. Exposure to this concentrated duration of motorbike noise is particularly taxing and a significant disturbance for the major part of the day.</li></ul>			
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		<ul style="list-style-type: none"> <li>• The “Recreation – Private” classification means the venue is not open to the public, but Mr Wolfe can permit any number of people onto his property at a time to use his dirt bike track. Whilst he states only one bike would be using the track at a time, there is nothing to enforce this plus the potential for additional noise from bikes not actually using the track and vehicles entering the property.</li> <li>• Noise from Great Southern Hwy is intermittent and not invasive by nature unlike the constant noise coming from the dirt bike track.</li> <li>• Reference is made to trail bike riders using the forest areas to the south and west which is Water Catchment. They do so in contravention of the regulations covering this area and the noise they generate is of concern to residents. This cannot be used, however, to support the case for the dirt bike track which will only add to the problem. Additionally the trail bike riders tend to move quickly through the area so noise is not persistent.</li> </ul> <p><b>Bushfire Risk</b>  The bushfire risk posed by the dirt bike track is both real and unacceptable for the following reasons:</p> <ul style="list-style-type: none"> <li>• The property has not been grazed for the majority of the year and fuel loads are high. Whilst it is stated “the location of the track was designed to negate any bushfire risk”, it has dried grasses growing right up to the</li> </ul>		<p>Fire risk commentary in 1 above.</p> <p>The use is not currently active and fuel loads will be minimised prior to commencement.</p>	<p>Officers have noted these concerns and have concluded that the proposal presents an unacceptable risk for bushfire, this is one of the reasons for Officers recommending refusal of this application.</p>
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		<p>perimeters of the track which is approx. 2 meters wide. In places the track is bounded by dried wild oats up to a meter high.</p> <ul style="list-style-type: none"> <li>• Firebreaks do not comply with the requirement that they be clear of all flammable material. They were not sprayed earlier and vegetation was heavy when they were installed causing retention of flammable material.</li> <li>• The application states “There are perimeter boundary firebreaks in place on site to isolate any outbreaks from within”. Noting the point above, firebreaks do not guarantee a fire will be contained within the break. Their major function is for back burning for fire control.</li> <li>• Should a fire escape to the State Forest areas referred to in the application there is the potential for massive damage to this area and a subsequent impact on water quality of run off from the Water Catchment area.</li> <li>• It is questionable how adequate the available water is for fire fighting purposes as it is from two dams, one of which, as stated in the application, is partially built. Water availability and accessibility is further reduced through the hot months through evaporation.</li> <li>• There does not appear to be any pump or other means available to transfer water from the dams into a fire fighting unit.</li> </ul>		<p>Additional to the dams referred to in the submitted report, the applicant advises he currently has a solar-pump on order to pump water when needed from a bore already in place.</p>	
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		<ul style="list-style-type: none"> <li>• There is not firebreak on the boundary between Lot 6 and 7, on the Lot 6 side for a distance of about 350 metres.</li> </ul> <p>Mr Wolfe clearly needs to demonstrate much improved fire management practices in the future to address the present issues.</p> <p>Background  Please bear in mind that we are one of the few permanent residents here, many of the land owners in the area use their property as a weekender or an investment. Glenda has retired from work and is at home most of the time.</p> <p>The impact of the proposal should it be allowed would for us, be massive.</p> <p>Noise  The noise from Mr Wolfes' bikes is for us is overwhelming as we sit in our house 370 metres from the track. The bikes that he rides are dedicated Motor Cross racing bikes, they have a very high pitched sound which according to neighbours some 2-4 km away disturbs them as well.</p> <p>I am told that these bikes have a modified exhaust system and run at very high revs which we can hear all too clearly. The first occasion we heard then, Steve Wolfe and friend/s rode for 6 and a half hours on the first day and longer on the second day well into the evening. These were some breaks but very short ones.</p>		<p>Photos submitted with report taken at time of submission, which was required as a matter of urgency by Council due to complaint lodged. Current conditions are not typical of conditions when activity commences after Council consideration.</p>	
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		<p>These bikes are ridden over jumps that are built on the 'dirt track' and sometime seems to be taken in riding them on the spot in circles producing a very loud consistent noise.</p> <p>Fire Hazard  The proposal submitted has many photographs obviously taken at the beginning of winter which contrasts totally with the realities of the warmer months.</p> <p>We are very frightened at the moment of the fire hazard we have on our doorstep due to Lot 6 being covered with high dry grass and incomplete (some 350m) of firebreak has not been made.</p> <p>Mr Wolfe, we presume came up and drove the tractor around the firebreaks about 9.15pm last Tuesday night, please refer to the 'before' and 'after' photographs of his firebreak which is parallel to our driveway.</p> <p>Trevor has been a volunteer fire fighter for 39 years, 15 of them at the Inkpen Brigade so he fully understands the risks the hazards on Lot 6 pose for us.</p> <p>Conclusion  During the last 20 years we have gradually developed Lot 7 into a small farm which has taken most of our resources to improve. We have has small</p>		<p>Lot 7 on P2190 gains usual access by a right of carriageway through the subject land, registered in 1993.</p> <p>Council or it's officers are welcome to view the full track at their convenience. Other than perhaps providing a video, it is otherwise difficult to give an accurate visual depiction.</p>	<p>Section 10.2 of LPS6 details matters to be considered by the Local Government when assessing an application and making a determination, impact on property value is not a detailed consideration, therefore, cannot contribute to making a determination on this application.</p>
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		<p>flocks of sheep, bred cattle and every year have harvested a small hay crop.</p> <p>The farm over the years has become a focal point for the family, we have had one wedding and two christenings held here. My late mother's ashes were scattered here at her request.</p> <p>The children and grandchildren have enjoyed the ponies and their motorbikes here and frequently come here to camp in their tents or to have birthday celebrations.</p> <p>We knew one day as age took its toll, we would have to sell and downsize and unfortunately move on. This property we have developed we thought would be our 'superannuation'.</p> <p>A Real Estate agent has advised us that we could expect a drop in value of \$70-\$80k, that is if a buyer could be found for a property with such a visible (from the Great Southern Highway) and audible Motor Cross Track so close to the house.</p> <p>The proposal that Steve Wolfe has submitted has not revealed the true nature of the track he has installed and has not in light of what we have been witness to has not shown responsibility in maintaining Lot 6.</p>			
5	Murray Bow & Jo Muir 1629 Great Southern Highway	As owners of Lot 5 (1629 Great Southern Highway) Woottating, we would prefer that the proposal be an additional use rather than change of use. There are certain responsibilities that come with maintaining a	No objection subject to appropriate use	It is the applicant's intention to keep the primary use of the land for farming and as a	The submission is noted.  It is considered that the proposed dirt track is the

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		<p>rural property and those responsibilities may not be the primary concern of an owner who only acquires a property for recreational use.</p> <p>We have no objection to the retrospective application, subject to the use as described in the application being overseen and controlled by the Shire of Northam and it being in addition to the properties zoned rural use.</p>		<p>future family home. Private recreational use for motorbike riding is proposed only as an addition use.</p>	<p>primary land use of the lot and is inconsistent with the intentions of the rural zoning and is one of the reasons for Officers recommending refusal of this application.</p> <p>The proponent is bound to comply with the <i>Environmental (Noise) Protection Regulations 1997</i>.</p>
<b>6</b>	<p>TI &amp; J Jujnovich 1459 Great Southern Hwy</p>	<p>In response to the proposal to change the zoning of Lot 6 from Rural to Recreational for the use of a motorcycle track, I would like to submit to Council the following objections and concerns if the rezoning from rural to recreational be approved:</p> <p>I have owned and lived at Lot 63 (1459 Great Southern Hwy) since 1960 and I am a full time Farmer since that time. My property, in particular Lots 63, 153 and 1055 are contiguously adjoining Lot 6. My house built on Lot 63 is less than 800 metres from the motorcross site and it is at the top of the valley that heads the Mundaring Weir Water Catchment area. The catchment water runs through both properties heading East and crosses the highway at Wundabinnering Road to flow through to the Weir and subsequently into the Helena and Swan Rivers. Our farming activities have been restricted</p>	<p>Noise, Bushfire Risk, Environmental Impact</p>	<p>DoW has no objection to the proposed use.</p>	<p>The submission is noted.</p> <p>It should be noted that the application is for a 'change of use' rather than a 'rezoning'. The 'Rural' zoning of the land will not change.</p> <p>The Department of Water has advised that they have no objection to the proposal.</p>

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		<p>due to its location. It should be noted that the properties in question in the restricted area were released prior to Federation.</p> <p>I am the only full time farmer in the area surrounding Lot 6. The other 11 adjoining neighbours, five live on their properties but work off the land, the other six only reside occasionally on their properties.</p> <p>In the proposed submission to the Shire, it is stated that residents have put up with the traffic noise from the Highway so the activities proposed by Mr Wolffe should not bother them. I point out that the traffic noise is not constant whereas noise from a motorcross bike or bikes are constant, and can go on for hours which has happened in the past months. The activities which have been going on several occasions have been several bikes racing around. The track and jumps are already in place and Mr Wolffe, being a FIFO worker, has ridden his Motorcross bike on the weekends when he is away from his workplace. There is a constant noise, often echoing up the valley, and can be heard for several hours from my residence.</p> <p>I have stock, in particular cattle with calves at foot, grazing on the paddocks adjoining Lot 6. My cattle are not used to motorbikes and can be disturbed by the noise. I have cattle agisted on a property on Chitty Road, Bakers Hill, and through the owners children racing around the paddocks on motorbikes I had a \$6000 Angus bull, due to being scared by the bikes, ran through a fence and ripped his rear hoof off and subsequently had to be destroyed.</p>		<p>Applicant has stated when and how private recreation activity will be used in submitted report. Applicant stands by such submission.</p> <p>Fire risk commentary in 1 above.</p>	<p>Officers have noted these concerns regarding noise impacts and have concluded that the proposal could have an unacceptable impact upon the amenity of the surrounding area and is one of the reasons for Officers recommending refusal of this application.</p>
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	<p>It should be noted that constant noise from motorbikes is a bit different to a bike being used for agricultural purposes.</p> <p>The risk of fire from a spark thrown from a BBQ (already Mr Wolfe has guests at a BBQ in the paddock and other bikers racing around the track), my property would be the first affected by fire, and if the summer easterly winds prevail, would subject the property to a wipe out, including my residence, which has a wooden shingle roof. (The house is circa 1849).</p> <p>I have no objection to Mr Wolffe and his immediate family riding a motorbike around his paddocks, but object to hours of constant noise from a motorcross bike. If the Council does approve the change of zoning to Recreational, who is going to police the activities and the number of times the track is used, and by how many bikes?</p> <p>There is also a concern that if Mr Wolfe does get the rezoning and sells the property, the new owners can do whatever they like in regards to as recreational activities with complete abandonment of the disturbance to their adjoining neighbours.</p> <p>As you are aware, there is an application for a motorcross park east of the Northam townsite, which if approved, Mr Wolfe could join in activities at that Park or visit the Beverley Race Track where it is already approved.</p> <p>I would appreciate my concerns be tabled at the proposed Council meeting and be determined that the site is unsuitable for such proposed activities,</p>			<p>Officers have noted these concerns and have concluded that the proposal presents an unacceptable risk for bushfire, this is one of the reasons for Officers recommending refusal of this application.</p>
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		due to the closeness of neighbours and being conducted in a Water Supply restricted area.			
7	Joanne Longman Lot 401 Wundabiniring Road	<p>My property lies approximately 2 kilometres as the as the crow flies to the south of the property in question, but I still have three broad concerns regarding the proposal. More specifically they relate to:</p> <ul style="list-style-type: none"> <li>• Fire Risk</li> <li>• Noise</li> <li>• Topography &amp; Environment</li> </ul> <p><u>Fire Risk</u>  The property in its current state presents an unacceptable fire risk. There are wild oats up to a meter high in places on either side of the relatively narrow bike track and the fuel load across the entire property is high from lack of grazing. Firebreaks in themselves will rarely confine a fire within their boundaries and, given the overall high fuel load, would most certainly not do so in this instance. From my aspect as a property owner in the vicinity of the proposed track, I find the risk of a fire igniting and then spreading from the property to neighbouring properties and the State Forrest to be both real and totally unacceptable. Additionally, the entire cluster of farm land properties bounding Mr Wolfe's property are surrounded by water catchment and the State Forrest area opposite is also water catchment. Fire in this area could seriously affect the water quality running off into the catchment area.</p>	Fire Risk, Noise, Environmental Impact	<p>Fire risk commentary in 1 above.</p> <p>The private recreational activity is not currently being used and the property will be made safe prior to the use commencing after Council determination.</p> <p>Firebreaks will be maintained and upgraded where necessary.</p> <p>The DoW advise no objection to the proposed land use.</p> <p>Submitter, being outside the 1km buffer zone, advises noise from trail bike riders far more audible if not as persistent.</p> <p>Applicant has stated when and how private recreation activity will be used in submitted report.</p> <p>Applicant stands by such submission.</p>	<p>The submission is noted.</p> <p>The land owner is bound to comply with the Shire's Firebreak Order.</p> <p>Officers have noted these concerns and have concluded that the proposal presents an unacceptable risk for bushfire, this is one of the reasons for Officers recommending refusal of this application.</p>

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		<p>To further add to the fire danger, the firebreaks contain a large amount of flammable material due to the lack of grazing and having not been sprayed prior to scarifying. Should the track be approved by Council, Mr Wolfe should not be permitted to ride his bike on the property until at least the end of the restricted burning period next year because of the current, real fire risk. Further, approval should be subject to him undertaking adequate steps to reduce the fuel load in future years and install firebreaks that meet the relevant standards. Council should inspect the property going into the fire season to ensure compliance.</p> <p><u>Noise</u>          Whilst my residence lies outside of the 1km buffer zone referred to in Mr Wolfe’s proposal, I have concerns amount the noise emitted from the track. When he has used the track in the past it is clearly audible from my property, especially when the wind is coming from the south east. Under certain weather conditions noise from Great Southern can be heard, but this is no as constant and wearing like the noise from the track. Similarly the noise made by the trail bike riders is defiantly a nuisance and whilst far more audible does not persist as the riders move quickly through the area. Given the location of my property and the fact that the noise from the track is clearly audible, I doubt the impact on the residences immediately neighbouring the track is as negligible and tolerable as stated in the proposal.</p>			<p>Officers have noted these concerns and have concluded that the proposal presents an unacceptable risk for bushfire, this is one of the reasons for Officers recommending refusal of this application.</p> <p>Officers have noted these concerns regarding noise impacts and have concluded that the proposal could have an unacceptable impact upon the amenity of the surrounding area and is one of the reasons for Officers recommending refusal of this application.</p>
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		<p>On my reading of the Environmental Protection Act 1986 and the Environmental Protection (Noise) Regulations 1997 (WA) the dirt bikes do not meet the requirements to be classified as farm vehicles and therefore should comply with permissible noise levels. Mr Wolfe should be required to demonstrate that noise levels emitted are within the legal range.</p> <p>My other concern is the proposed extent of the use of the track. As stated in his proposal, it revolves around Mr Wolfe’s work roster which currently would restrict the use of the track to 26 days per year which is not entirely unacceptable with appropriate safeguards. Should the track be approved it should be on the stipulation that the track is only ever used 26 days of the year to cover any future changes to Mr Wolfe’s work or residential situation. I further believe that his proposal to ride for six hours per day with two half hour breaks is excessive and would cause a persistent disturbance. Either the period he rides between breaks should be reduced or the length of the breaks increased to provide relief to neighbouring residents. Finally, whilst the “Recreation - Private” classification means the venue is not open to the public, there is no restriction on the number of people Mr Wolfe can allow at the one times on the property despite his assurance that only one bike would be using the track at a time.</p> <p><u>Topography &amp; Environment</u></p>			<p>The Department of Water has advised that they have no objection to the proposal.</p>
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		<p>Wundabiniring Brook which runs into the water catchment begins on the property in the wise drainage flat. The dirt bike track has the potential to affect the flow of the brook and water quality through pollution. There is also potential for water erosion on the track as from the main road it can clearly be seen to run vertically down the slope in one section and up the slope on a steep diagonal line in another.</p> <p><u>Conclusion</u>  For the reasons outlined above, overall I do not support the proposed retrospective change of use. Should, however, Council decide in favour of the proposal I believe it should be accompanied by the following stipulations:</p> <ol style="list-style-type: none"> <li>1. That the track cannot be used at least until the end of the upcoming restricted burning period because of the high fire risk present this season.</li> <li>2. That Mr Wolfe be required to submit a detailed fire management plan to Council for future years. Further the property must be inspected annually by a Shire Ranger to ensure compliance as he has clearly shown this year in his submission that his fire awareness and management skills are deficient.</li> <li>3. That Mr Wolfe should be required to demonstrate using independent and</li> </ol>			
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		<p>approved measuring activities that noise levels emitted are within the legal range.</p> <p>4. That his use of the track be confined to 26 days per year and that the period of use in any one day be confined to a maximum of 1.5 hours per session with 1 hours break between sessions between 10am and 4pm on a Saturday.</p> <p>5. That steps be taken to minimise the potential for water erosion for example through installing drainage points along sections the track that present a risk.</p> <p>Failure to comply with any one of the first four stipulations should result in Council reviewing its decision to approve the track and withdrawing permission for its use and an order for the removal of earthworks.</p>			
<b>8</b>	Department of Water	<p>The proposed development is situated within the Mundaring Weir Catchment Area and is managed for the Priority 2 (P2) source protection. P2 source protection areas are defined to ensure that there is no increase in risk of pollution to the water source. P2 areas are declared over land where low intensity development (such as rural) already exists. Protection of public water supply sources is a high priority in these areas. P2 areas are managed in accordance with the principle of risk minimisation and some development is allowed under specific guidance.</p>	No Objection	It is noted the applied for private recreational activity is not an incompatible land use and as such the DoW has no objection.	The submission is noted.

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		The private motorbike track is not an incompatible land use and as such the DoW have no objections.			
<b>9</b>	Main Roads Western Australia	<p>Main Roads WA advises no objection to the proposal subject to the following condition;</p> <ol style="list-style-type: none"> <li>1. The track is for private use only and will not be opened for public use at any time.</li> <li>2. Any changes to the usage of existing accesses would require MRWA approval.</li> </ol>	No Objection		The submission is noted.

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**13.2.2 APPLICATION FOR DEVELOPMENT APPROVAL TO EXTEND THE TAVERN USE (LOOSE FOOT SALOON) AT LOT 800 BODEGUERO WAY, WOOROLOO**

Name of Applicant:	Joshua Webber
Name of Owner:	George Webber
File Ref:	A15665/P2128
Officer:	Chadd Hunt / Courtney Wynn
Officer Interest:	Nil
Policy:	<i>Local Planning Scheme No.6 Planning &amp; Development Act 2005 Planning Regulations 2015</i>
Voting:	Simple Majority
Date:	26 November 2015

**PURPOSE**

Council is requested to consider an application for development approval to extend the tavern use at Lot 800 Bodeguero Way, Wooroloo. This application is being referred to Council for consideration as the applicant is proposing a variation to the car parking requirements as specified under Clause 5.13 of Local Planning Scheme No 6 (the Scheme).

It is recommended Council resolves to approve the application subject to conditions.

**BACKGROUND**

*Context*

Lot 800 Bodeguero Way, Wooroloo is located near the El Caballo Resort Hotel, approximately 36km from Northam townsite via Great Eastern Highway. Refer Appendix 1 – Location Plan.

The building in which the Loose Foot Saloon is located incorporates a drive-through bottle shop, four empty shop tenancies and an upstairs residence which are not subject to this application.

The applicant has already constructed an [unauthorised] gazebo and outer deck area on the northern boundary of the lot. On closer inspection of the plans submitted with the application, it would appear that the existing gazebo and outer deck area encroaches onto the abutting landowner's lot (Lot 87). Refer Appendix 2 – Overall Site Plan.

Vehicular access to the Loose Foot Saloon is facilitated via an existing right-of-carriageway over Lot 801 (existing Puma service station on Great Eastern Highway) and via Bodeguero Way to the east of the site, as depicted on the overall site plan.

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*Proposal*

The applicant proposes to convert one of the shop tenancies into a commercial kitchen as the Loose Foot Saloon does not current have a kitchen and cannot serve any food to patrons. The applicant is also proposing to expand the tavern footprint to incorporate an outdoor 'beer garden' area up to the northern boundary of the lot.

The proposed trading hours for the Loose Foot Saloon are as follows:

- Bottle Shop - midday to 8pm Sunday to Wednesday and midday to 11pm Thursday to Saturday; and
- Tavern - midday to 10pm Sunday to Thursday and midday to 12pm Friday to Saturday.

The detailed internal layout will depend upon any conditions placed by the liquor licence issued by the Department of Racing, Gaming and Liquor. However, it is intended that the tavern will be accessed through an additional new entry point at the rear of the building. Refer site plan marked 'Site Plan B' (Appendix 3).

As the delivery bay would become a shared space, deliveries would be restricted to outside of trading hours to ensure the safety of patrons. Other proposed works include the:

- demolition of an existing derelict bar structure;
- replacement of courtyard fencing;
- resurfacing of the existing car park; and
- construction of a new car park.

The application proposes a total of 62 car parking bays located on the site accessed via the Great Eastern Highway and Bodeguero Way.

The applicant advises that the existing bathrooms will be converted to an accessible unisex toilet. The existing delivery bay is proposed to be incorporated into the beer garden at the rear of the building. There are existing rubbish storage areas located at the rear of the building, however, these areas are required to be screened to preserve the amenity of the site.

It should be noted that prior to the proposed beer garden becoming operational, the applicant would be required to apply for, and have had granted a liquor licence by the Department of Racing, Gaming and Liquor.

**STATUTORY REQUIREMENTS**

SHIRE OF NORTHAM LOCAL PLANNING SCHEME NO 6

Lot 800 Bodeguero Way, Wooroloo is approximately 8,097m<sup>2</sup> and is zoned 'Special Use 1' under Council's Local Planning Scheme No.6 which specifies that the use of the lot is restricted to the following;

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(a) *Lot 800 - Tavern & uses ancillary thereto as approved by the local government.*

Schedule 4 of the Scheme also specifies that following Conditions are applicable to this lot;

1. *All development and use shall be subject to an Application for Planning Approval.*
2. *All development and use shall be in accordance with any plans, conditions and management requirements approved by the local government.*
3. *No alterations or extensions to the land use shall be undertaken without the approval of the local government.*

The proposal is considered to fall within the use listed in Schedule 1.

The Scheme defines 'Tavern' as follows:

***“tavern”*** means premises licensed as a tavern under the Liquor Control Act, 1988 and used to sell liquor for consumption on the premises

The proposal is therefore consistent with the objectives of the Special Use 1 zone and is permitted.

Clause 5.13 Car Parking

The Scheme predicts that the minimum car parking requirements for a tavern is 1 bay per 5m<sup>2</sup> of public area plus 1 bay per 4 restaurant dining seats. Therefore, the minimum car parking requirements have been calculated as follows:

573.3m<sup>2</sup> internal and external public area.

Thus,  $573.3\text{m}^2 / 5\text{m}^2 = 114.6$  bays

Plus

55 Restaurant Dining Seats indicated on the floor plan / 4 = 13.7 bays

Therefore the minimum car parking requirements are 128.3 (129) car parking bays.

In accordance with the Building Code of Australia a minimum of 1 Disabled Bay is required per 50 bays provided, the applicant has proposed 1 disabled bay as part of this application. 1 loading bay is provided in a shared space at the rear of the building.

Section 5.13.6 stipulates;

*5.13.6 Where the owner can demonstrate to the satisfaction of the local government that there is not the demand for the number of parking spaces specified in the 'Table 3: Car Parking Guidelines', landscaping may be provided in lieu of car parking spaces not constructed and the landscaping shall be included in calculations as car parking but not as landscaping, provided that the local government may from time to time require that additional parking spaces be provided by the owner.*

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The application proposes 42 on site car parking bays. One of the bays proposed is a disabled bay.

**PUBLIC CONSULTATION**

Officers gave notice of the application on 11<sup>th</sup> November 2015 to the adjoining land owner (service station) for comment.

No Submissions were received.

**CONFORMITY WITH COMMUNITY STRATEGIC PLAN**

OBJECTIVE C1.7: Provide an environmental that enhances and builds on the liveability of the Shire.

The proposed rejuvenation of the building and car parking areas would improve the appearance and amenity of the site whilst the tavern provides for socialisation among residents and tourists.

**BUDGET IMPLICATIONS**

The cost of the development application fee and advertising fee was a total of \$279.00.

There are no financial/budgetary implications for the Shire of the recommendations of this report.

**OFFICER'S COMMENT**

The proposal to extend the tavern and renovate the Loose Foot Saloon is generally supported, however, there is seen to be two key issues impacting on the proposal, namely:

- Encroachment of the gazebo and outer deck area onto the abutting lot on the northern boundary of the subject site; and
- The shortfall in the number of parking bays relevant to the Scheme standards.

Each of these issues is outlined and discussed below, followed by a conclusion.

*Gazebo encroachment*

As outlined under 'Background' section of this report, the gazebo and outer deck area encroaches onto the abutting Lot 87. Officers have advised the applicant that the Shire would be unable to support the gazebo and outer deck area in the current location (given that the structures straddle a lot boundary), whereupon the applicant advised that he would seek to dismantle the gazebo and decking, and rebuild same upon approval of the development application and following the issuing of a building permit by the Shire.

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This undertaking is acceptable to planning officers, subject to an appropriate condition of development approval requiring the applicant to submit revised plans for approval prior to any works commencing in relation to this development proposal.

*Parking requirements*

As specified under Clause 5.13.6 of the Scheme, the Shire may accept a proposal for landscaping to be provided in lieu of car parking spaces provided that the owner can demonstrate that there is not the demand for the number of parking spaces specified in 'Table 3: Car Parking Guidelines'.

The applicant has submitted detailed evidence based on patronage data (refer Appendix 4) that suggests that once the proposed improvement works have been completed, the Loose Foot Saloon will require only 42 bays. However, the applicant is also proposing an additional 20 bays for use as overflow parking, bringing the total number of car parking bays proposed to 62 bays.

There is also a likelihood that patrons may also park on the adjoining service station property as currently, patrons must cross this property to access the Loose Foot Saloon from the Great Eastern Highway. In addition to this the lot boundaries and the current car parking access arrangements are not defined by line markings on the site and is functioning as an integrated car parking area for the two sites.

Further to this, the applicant has advised that patrons from the nearby resort and lifestyle village often access the site on foot which does not place any demand on car parking facilities.

Officers have assessed the proposal and have determined that the 129 bays required as predicted by the Scheme is unreasonable in the context of this proposal. It is therefore considered that a reduction in the number of car parking bays (62 bays) can be considered appropriate.

*Conclusion*

The applicant has not submitted a detailed landscaping plan for the site which is recommended to be submitted as a condition of approval.

The proposed refurbishment and new car parking facilities is compatible with the intentions of the Special Use zone. The proposed works are located on a site that is visually prominent at the main entry point for visitors to the Shire of Northam.

Once refurbishment works are completed the Loose Foot Saloon will offer a new dining and social venue for people in the lifestyle village and Wooroloo area.

Therefore it is recommended that Council resolve to approve the application to extend the tavern use at Lot 800 Bodeguero Way, Wooroloo with the proposed car parking variation subject to conditions.

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**RECOMMENDATION**

That Council approves the development application (P2128) to extend the Tavern use at Lot 800 Bodegeuro Way, Wooroloo subject to the following conditions:

**GENERAL CONDITIONS**

1. The development hereby permitted must substantially commence within two years from the date of this determination notice.
2. Before the use and works start, amended plans to the satisfaction of the local government must be submitted to and approved by the local government. When approved, the plans will be endorsed by the CEO or the Executive Manager Development Services and will then form part of the approval. The plans must be drawn to scale with dimensions and two copies must be provided. The plans must be generally in accordance with the plans submitted with the application but modified to show the gazebo and outer decking area within the legal boundary of Lot 800.

**CONDITIONS TO BE MET PRIOR TO THE COMMENCEMENT OF THE DEVELOPMENT**

3. Prior to commencement of development, a detailed landscaping plan is to be submitted to and approved by the local government.
4. Prior to the commencement of development, detailed drainage plans shall be submitted to the satisfaction of the local government.
5. Prior to commencement of development, all signage being submitted to and approved by the local government prior to installation.

**CONDITIONS TO BE MET PRIOR TO OCCUPATION OF THE DEVELOPMENT**

6. Prior to occupation of the development, the car parking and loading area(s), and vehicle access and circulation areas shown on the approved site plan, including the provision of universally accessible (disabled) car parking, is to be constructed, drained, and line marked to the satisfaction of the local government.
7. Prior to occupation, landscaping is to be completed in accordance with the approved plans or any approved modifications thereto to the satisfaction of the local government.
8. Prior to occupation, the outdoor storage area shall be screened from view to the satisfaction of the local government.
9. Prior to occupation, stormwater drainage works must be completed in accordance with the approved plans to the satisfaction of the local government.
10. A suitably screened refuse bin storage area is to be provided in accordance with Shire of Northam's Health Local Law prior to the development first being occupied.

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**CONDITIONS REQUIRING ONGOING COMPLIANCE**

11. All car parking/loading areas, and vehicle access and circulation areas are to be maintained and available for car parking/loading, and vehicle access and circulation on an ongoing basis to the satisfaction of the local government.
12. All car parking and associated loading areas are to be maintained and available for car parking and loading/unloading on an ongoing basis to the satisfaction of the local government.
13. All landscaped areas are to be maintained on an ongoing basis to the satisfaction of the local government.
14. The on-site drainage system shall be maintained on an ongoing basis to the satisfaction of the local government.

**ADVICE NOTES**

- NOTE 1:** If the development the subject of this approval is not substantially commenced within a period of 2 years, or such other period as specified in the approval after the date of the determination, the approval shall lapse and be of no further effect.
- NOTE 2:** Where an approval has so lapsed, no development shall be carried out without the further approval of the local government having first been sought and obtained.
- NOTE 3:** If an applicant is aggrieved by this determination there is a right of appeal under the *Planning and Development Act 2005*. An appeal must be lodged with the State Administrative Tribunal within 28 days of the determination.
- NOTE 4:** The applicant is reminded that this is a Development Approval only and does not obviate the responsibility of the applicant to comply with all relevant building, health and engineering requirements. In this regard your particular attention is drawn to:
- (a) *Food Act 2008*
  - (b) *Health (Public Buildings) Regulations 1992*
- NOTE 5:** This development has been defined as a public building and shall comply with the provisions in the *Health Act 1911* relating to public housing regulations. An application to construct, extend or alter a public building is to be submitted with the Building Permit application.
- NOTE 6:** A Building Permit being obtained prior to the commencement of any building works and an Occupancy Permit is to be obtained prior to the use of the building.
- NOTE 7:** The application is required to be referred to the Fire and Emergency Service Authority prior to the issuing of Building Permit.
- NOTE 8:** The building application is required to comply with the applicable Wind Classification, Earthquake Factor (Northam = 0.14) and Energy efficiency measures (Climate Zone 4).

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**NOTE 9: All structural plans and details are to be certified by an appropriately qualified engineer and ink signed as part of the building application.**

**NOTE 10: The applicant is required to comply with the sanitary facilities and accessibility requirements in accordance with the *Building Code of Australia*.**

**NOTE 11: Screening is required to the door of the accessible toilet facility**

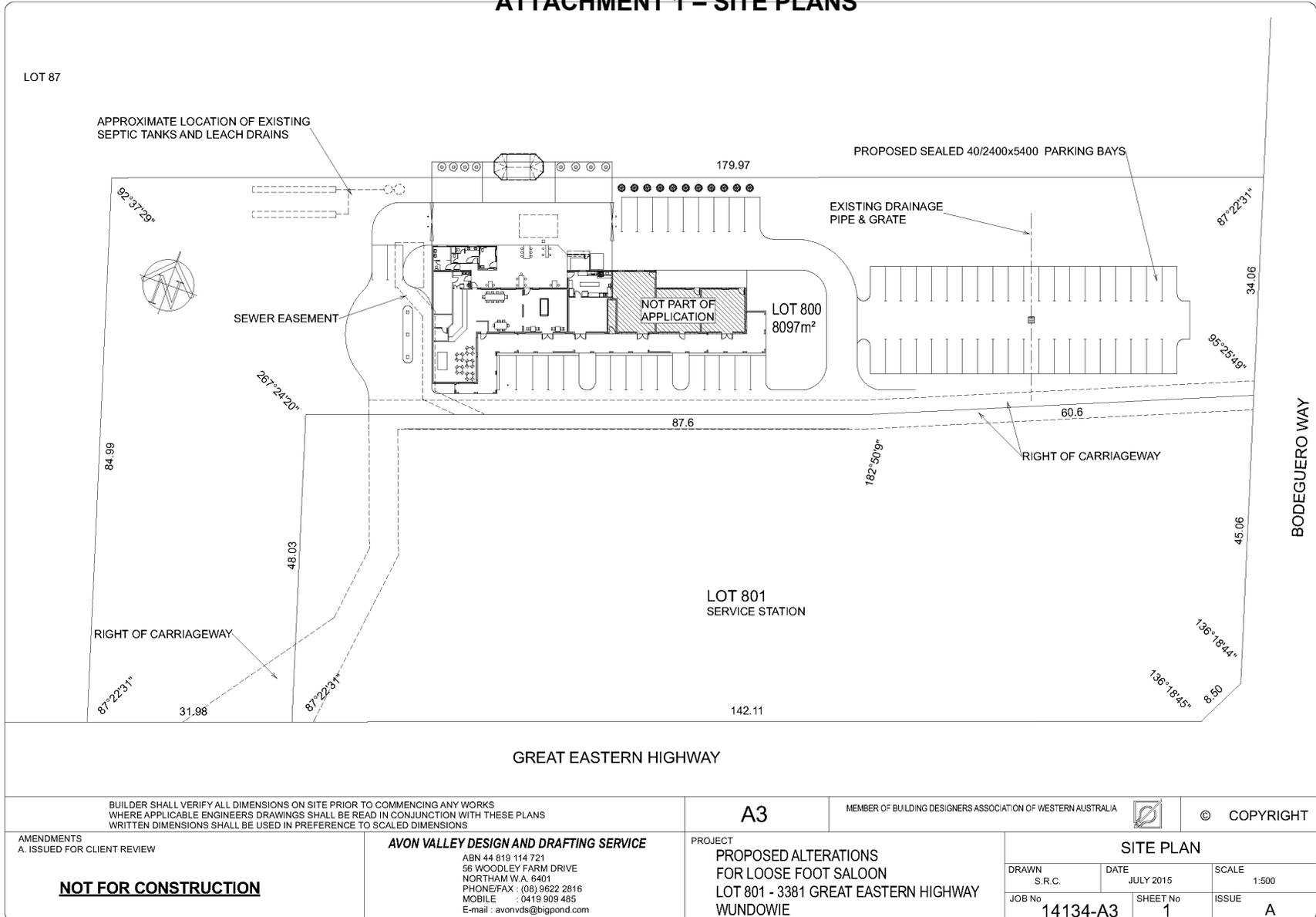
**NOTE 12: Separate plans are required to be submitted to the Shire of Northam's Health Department of the proposed kitchen fit out and an application is required to be made to the Shire for a Food Business Registration. Please note the current wall alignment shown on the floor plan may require alterations.**

# SHIRE OF NORTHAM

## AGENDA

### COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015

#### ATTACHMENT 1 – SITE PLANS

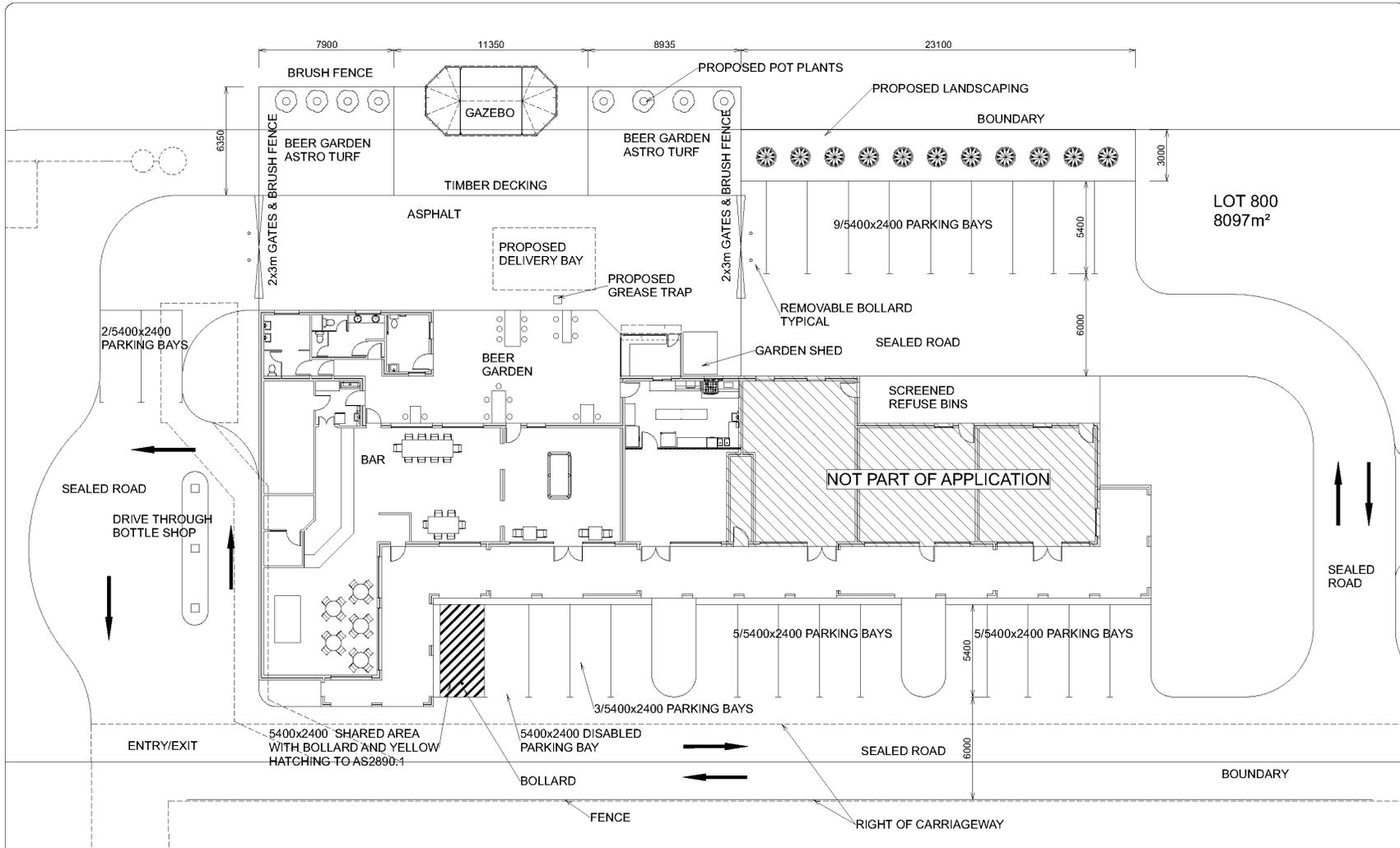


BUILDER SHALL VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORKS WHERE APPLICABLE ENGINEERS DRAWINGS SHALL BE READ IN CONJUNCTION WITH THESE PLANS WRITTEN DIMENSIONS SHALL BE USED IN PREFERENCE TO SCALED DIMENSIONS		A3	MEMBER OF BUILDING DESIGNERS ASSOCIATION OF WESTERN AUSTRALIA		© COPYRIGHT
AMENDMENTS A. ISSUED FOR CLIENT REVIEW	AVON VALLEY DESIGN AND DRAFTING SERVICE ABN 44 819 114 721 56 WOODLEY FARM DRIVE NORTHAM W.A. 6401 PHONE/FAX : (08) 9622 2816 MOBILE : 0419 909 485 E-mail : avonvds@bigpond.com	PROJECT PROPOSED ALTERATIONS FOR LOOSE FOOT SALOON LOT 801 - 3381 GREAT EASTERN HIGHWAY WUNDOWIE		SITE PLAN	
NOT FOR CONSTRUCTION		DRAWN S.R.C.	DATE JULY 2015	SCALE 1:500	
		JOB No 14134-A3	SHEET No 1	ISSUE A	
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# SHIRE OF NORTHAM

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BUILDER SHALL VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORKS  
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**AVON VALLEY DESIGN AND DRAFTING SERVICE**  
 ABN 44 819 114 721  
 56 WOODLEY FARM DRIVE  
 NORTHAM W.A. 5401  
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 MOBILE : 0419 909 485  
 E-mail : avonvds@bigpond.com

PROJECT  
**PROPOSED ALTERATIONS  
 FOR LOOSE FOOT SALOON**  
 LOT 801 - 3381 GREAT EASTERN HIGHWAY  
 WUNDOWIE

**SITE PLAN**

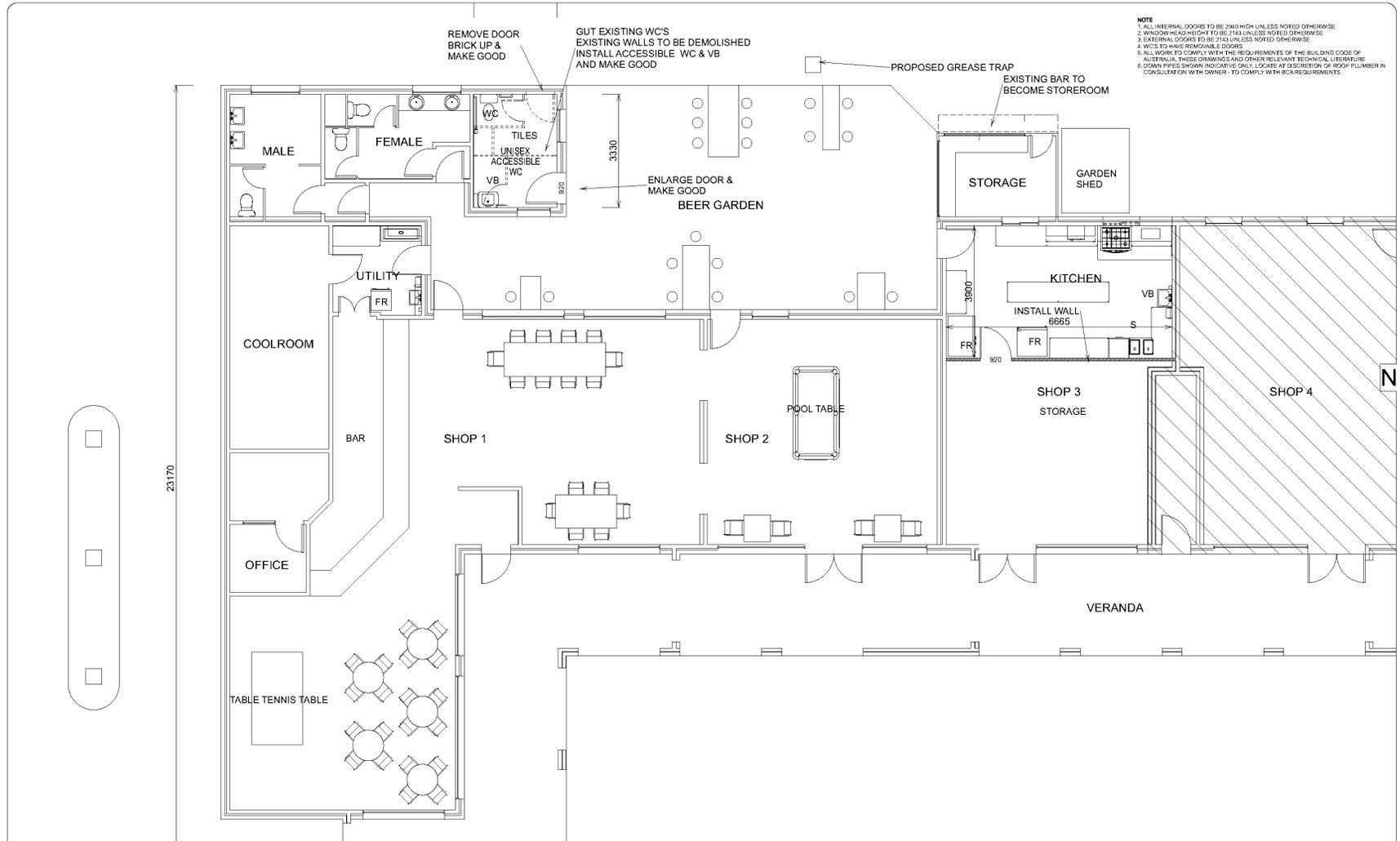
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JOB No <b>14134-A3</b>	SHEET No <b>2</b>	ISSUE <b>A</b>

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**NOTE**  
 1. ALL INTERNAL DOORS TO BE 2040 HIGH UNLESS NOTED OTHERWISE  
 2. WINDOW HEAD HEIGHT TO BE 2145 UNLESS NOTED OTHERWISE  
 3. EXTERNAL DOORS TO BE 2145 UNLESS NOTED OTHERWISE  
 4. W/C'S TO HAVE REMOVABLE DOORS  
 5. ALL WORK TO COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA, THESE DRAWINGS AND OTHER RELEVANT TECHNICAL LITERATURE  
 6. DOWN PIPES SHOWN INDICATIVE ONLY. LOCATE AT DISCRETION OF ROOF PLUMBER IN CONSULTATION WITH OWNER. TO COMPLY WITH BGA REQUIREMENTS

BUILDER SHALL VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORKS  
 WHERE APPLICABLE ENGINEERS DRAWINGS SHALL BE READ IN CONJUNCTION WITH THESE PLANS  
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 E-mail : avonvds@bigpond.com

PROJECT  
**PROPOSED ALTERATIONS  
 FOR LOOSE FOOT SALOON  
 LOT 801 - 3381 GREAT EASTERN HIGHWAY  
 WUNDOWIE**

**FLOOR PLAN**

DRAWN S.R.C.	DATE JULY 2015	SCALE 1:100
JOB No <b>14134-A3</b>	SHEET No <b>3</b>	ISSUE <b>A</b>

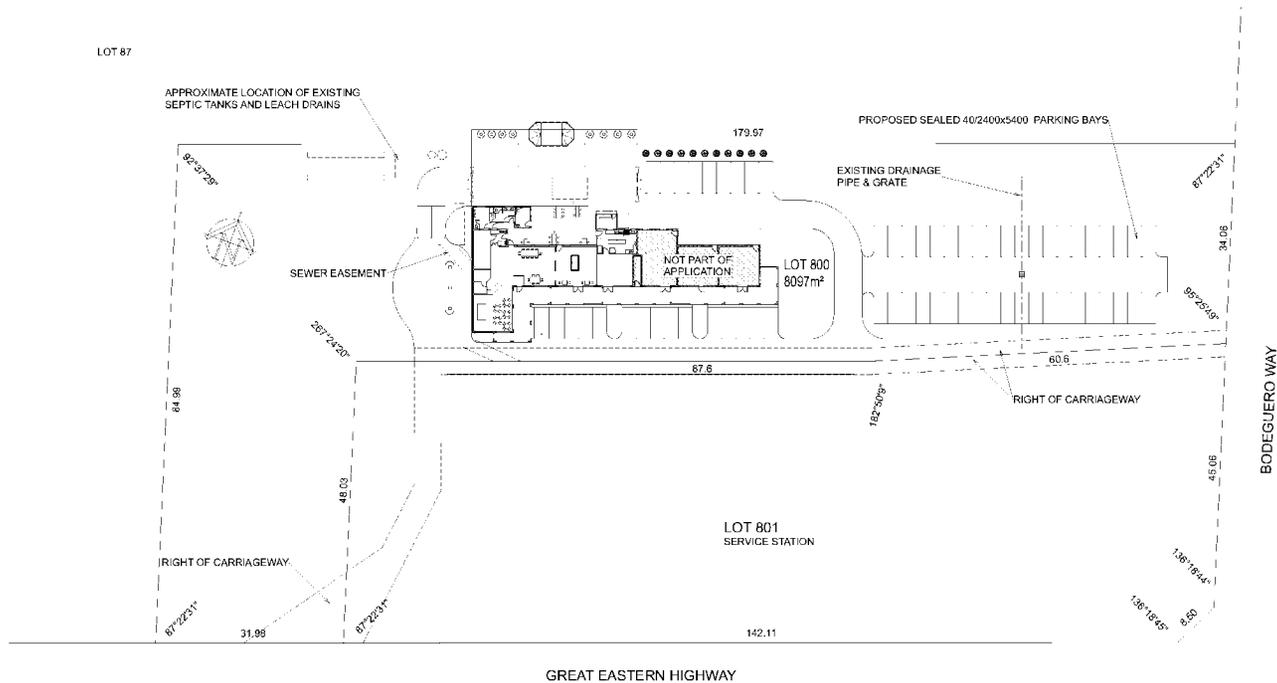
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# SHIRE OF NORTHAM

## AGENDA

### COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015

#### ATTACHMENT 2 – CAR PARKING PLANS



BUILDER SHALL VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORKS WHERE APPROPRIATE ENGINEERS DRAWINGS SHALL BE READ IN CONJUNCTION WITH THESE DRAWINGS WRITTEN DIMENSIONS SHALL BE USED IN PREFERENCE TO SCALED DIMENSIONS		A2	MEMBER OF BUILDING DESIGNERS ASSOCIATION OF WESTERN AUSTRALIA	© COPYRIGHT
AMENDMENTS A. ISSUED FOR CLIENT REVIEW		<b>AVON VALLEY DESIGN AND DRAFTING SERVICE</b> <small>ABN 44 819 114 721 55 WOODLEY FARM DRIVE NORTHAM W.A. 6401 PHONE/FAX : (08) 9822 2816 MOBILE : (04) 91 905 485 Email : avon@avonvalleydesign.com</small>	PROJECT <b>PROPOSED ALTERATIONS FOR LOOSE FOOT SALOON LOT 801 - 3381 GREAT EASTERN HIGHWAY WUNDOWIE</b>	
<b>NOT FOR CONSTRUCTION</b>		<b>OVERALL SITE PLAN</b>		
DRAWN S.R.C.		DATE JUNE 2015	SCALE 1:500	
JOB NUMBER 14134		SHEET No 1	ISSUE A	

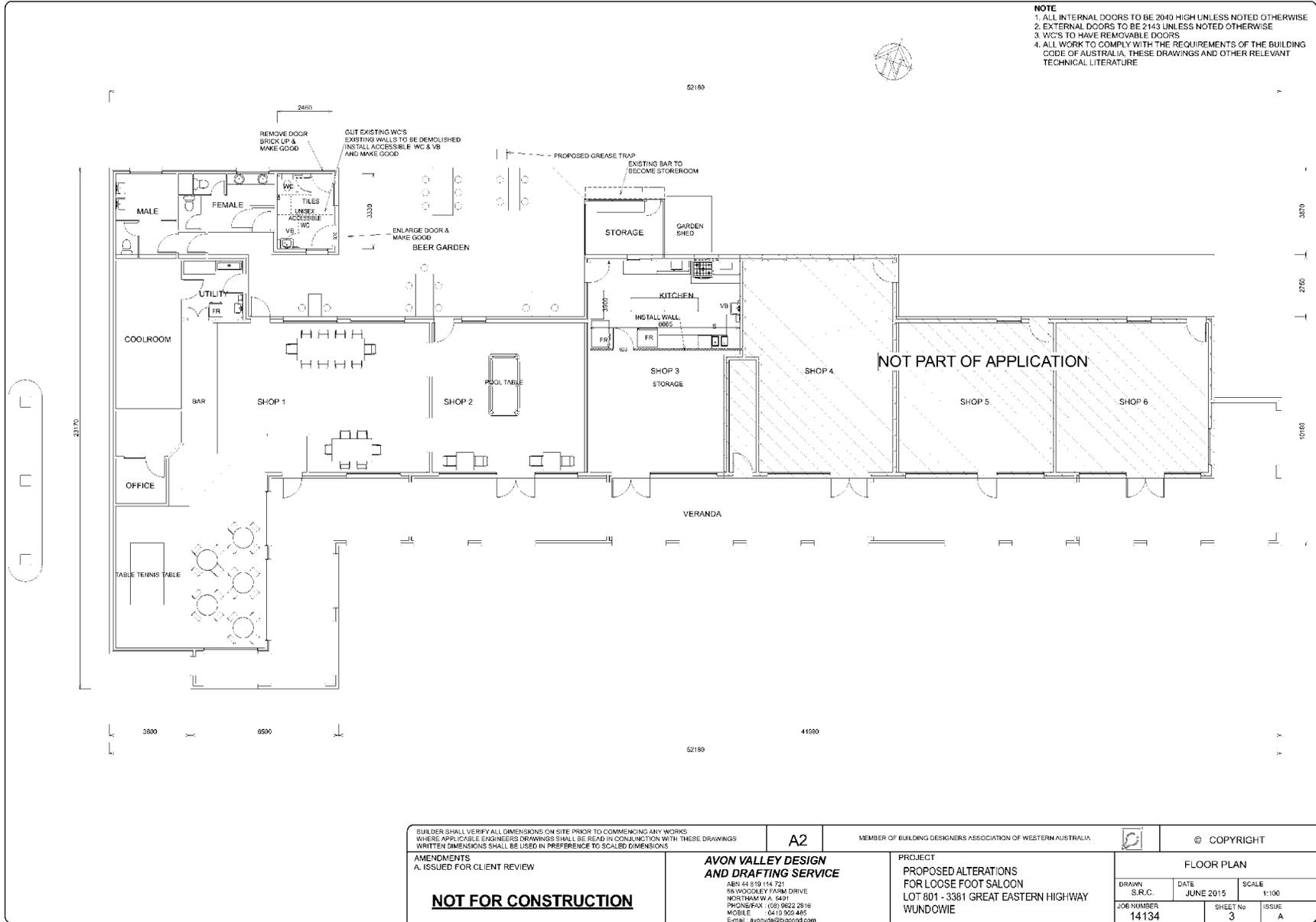
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BUILDER SHALL VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORKS WHERE APPLICABLE ENGINEERS DRAWINGS SHALL BE READ IN CONJUNCTION WITH THESE DRAWINGS WRITTEN DIMENSIONS SHALL BE USED IN PREFERENCE TO SCALED DIMENSIONS	A2	MEMBER OF BUILDING DESIGNERS ASSOCIATION OF WESTERN AUSTRALIA	© COPYRIGHT
AMENDMENTS A. ISSUED FOR CLIENT REVIEW  <div style="text-align: center; border: 1px solid black; padding: 2px; font-weight: bold; font-size: 10px;">NOT FOR CONSTRUCTION</div>	<b>AVON VALLEY DESIGN AND DRAFTING SERVICE</b> ABN 44 619 114 721 55 WOODLEY FARM DRIVE NORTHAM W.A. 3401 PHONE/FAX : (08) 9622 2818 MOBILE : 04 19 965 485 E-MAIL : <a href="mailto:info@avonvalleydesign.com">info@avonvalleydesign.com</a>		PROJECT <b>PROPOSED ALTERATIONS FOR LOOSE FOOT SALOON</b> LOT 801 - 3381 GREAT EASTERN HIGHWAY WUNDOWIE
FLOOR PLAN			SCALE 1:100
DRAWN S.R.C.	DATE JUNE 2015	JOB NUMBER 14134	
SHEET No 3		ISSUE A	

# SHIRE OF NORTHAM

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### COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015

**SECTION**  
1:50

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**ELEVATION**  
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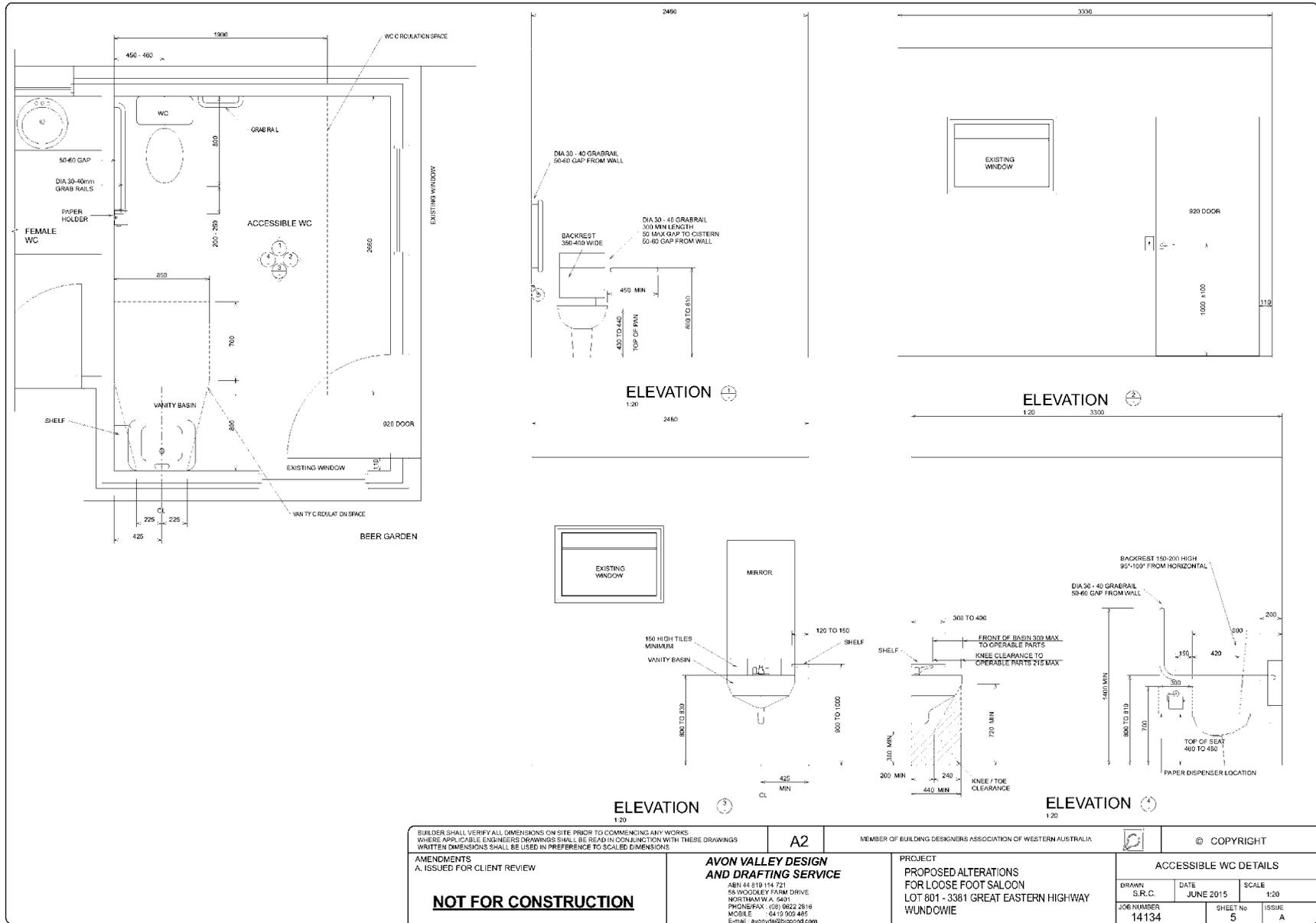
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AMENDMENTS A. ISSUED FOR CLIENT REVIEW		AVON VALLEY DESIGN AND DRAFTING SERVICE		PROJECT PROPOSED ALTERATIONS FOR LOOSE FOOT SALOON LOT 801 - 3381 GREAT EASTERN HIGHWAY WUNDOWIE	
JOB NUMBER <b>14134</b>		DATE JUNE 2015		SCALE 1:50	
SHEET No <b>4</b>		ISSUE <b>A</b>		P:\SITE\14134\24134 16\12015\ERSUN.X3	

# SHIRE OF NORTHAM

## AGENDA

### COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015

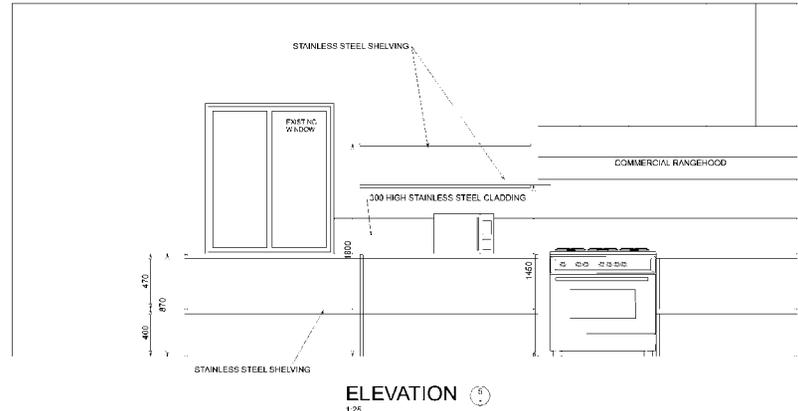
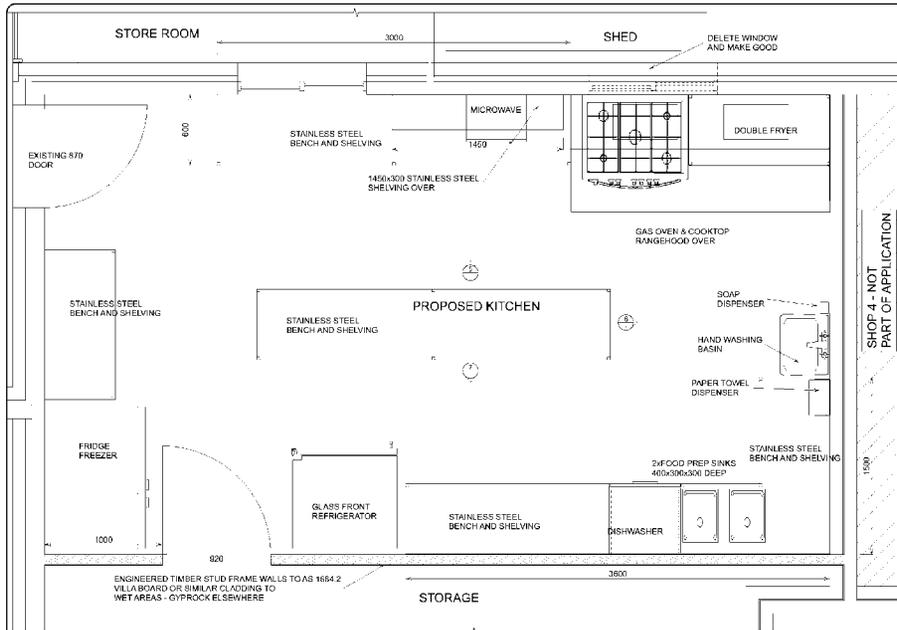


BUILDER SHALL VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORKS. WHERE APPLICABLE ENGINEERS DRAWINGS SHALL BE READ IN CONJUNCTION WITH THESE DRAWINGS. WRITTEN DIMENSIONS SHALL BE USED IN PREFERENCE TO SCALED DIMENSIONS.	A2	MEMBER OF BUILDING DESIGNERS ASSOCIATION OF WESTERN AUSTRALIA	© COPYRIGHT
AMENDMENTS A. ISSUED FOR CLIENT REVIEW	<b>AVON VALLEY DESIGN AND DRAFTING SERVICE</b> <small>           ABN 44 819 114 721            55 WOODLEY FARM DRIVE            NORTHAM W.A. 5401            PHONE/FAX: (08) 9622 2819            MOBILE: 04 10 909 485            E-MAIL: <a href="mailto:info@avonvalleydesign.com">info@avonvalleydesign.com</a> </small>		PROJECT <b>PROPOSED ALTERATIONS FOR LOOSE FOOT SALOON LOT 801 - 3381 GREAT EASTERN HIGHWAY WUNDOWIE</b>
<b>NOT FOR CONSTRUCTION</b>	DRAWN: S.R.C.    DATE: JUNE 2015    SCALE: 1:20 JOB NUMBER: 14134    SHEET No: 5    ISSUE: A		ACCESSIBLE WC DETAILS

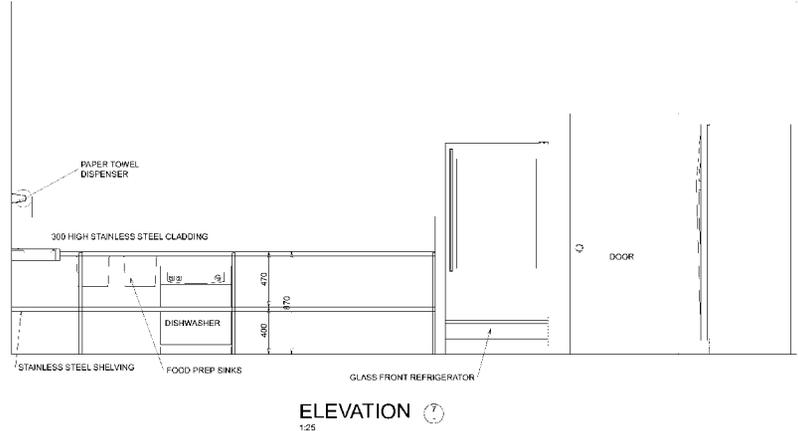
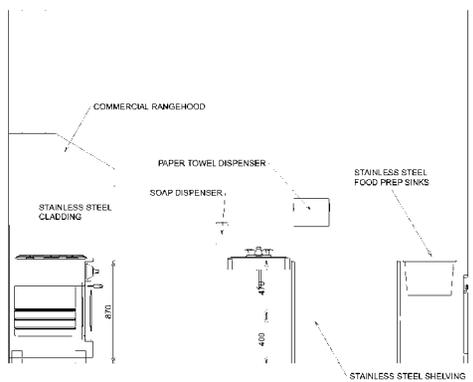
# SHIRE OF NORTHAM

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### COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015



- NOTE**
1. CONSTRUCTION AND FIT OUT TO COMPLY WITH AS4674
  2. COMMERCIAL GRADE FLOOR COVERING TO BE INSTALLED
  3. CORNERS TO BE COVERED 9.5mm RADIUS MINIMUM

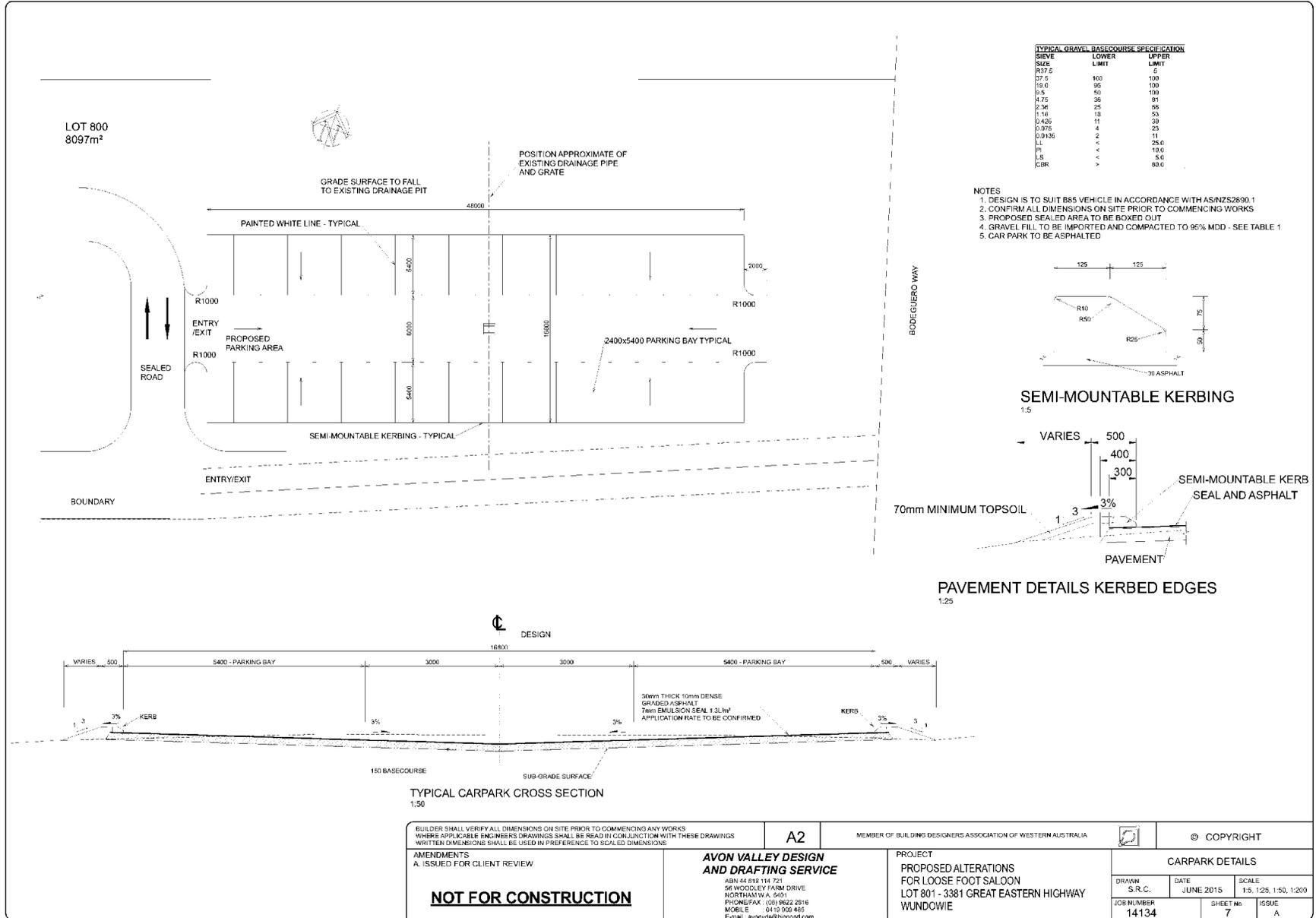


BUILDER SHALL VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORKS WHERE APPLICABLE ENGINEERS DRAWINGS SHALL BE READ IN CONJUNCTION WITH THESE DRAWINGS WRITTEN DIMENSIONS SHALL BE USED IN PREFERENCE TO SCALED DIMENSIONS	A2	MEMBER OF BUILDING DESIGNERS ASSOCIATION OF WESTERN AUSTRALIA	© COPYRIGHT
AMENDMENTS A. ISSUED FOR CLIENT REVIEW	<b>AVON VALLEY DESIGN AND DRAFTING SERVICE</b> 66 WOODSLEY FARM DRIVE NORTHAM W.A. 5401 PHONE/FAX: (08) 9222 2816 MOBILE: 0419 008 486 Email: avonvalley@optusnet.com.au		PROJECT PROPOSED ALTERATIONS FOR LOOSE FOOT SALOON LOT 801 - 3381 GREAT EASTERN HIGHWAY WUNDOWIE
NOT FOR CONSTRUCTION	KITCHEN DETAILS DRAWN: S.R.C. DATE: JUNE 2015 SCALE: 1:25 JOB NUMBER: 14134 SHEET No: 6 ISSUE: A		PRINTED: 11/14/2015 10:12:05 AM

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**ATTACHMENT 3 – PARKING DEMAND ANALYSIS**

**Appendix Three: Car Park Bays Required**

*Existing Data*

Average Number of Sales Transactions (based on sales data for each Thursday over 8 week period):

= 145 transactions over 9 hour opening period

Assuming 75% of these transactions occur in busy period from 4:00pm to 9:00pm:

= 109 transactions over 5 hour period

= 22 transactions per hour

65% of these transactions are from "bar sales" (patrons inside venue as opposed to drive through)

= 14 transactions per hour

Assuming each patron makes 2 transactions each

= 14 divided by 2

= maximum average of 7 patrons per hour

This calculation is based on data for Thursdays, as this is currently the busiest day of the week for the venue due to the entertainment on offer. The 8 week period sampled occurred over August and September, the busiest months the venue has experienced to date. These data samples were selected to find customer numbers at the upper limit of the range.

*Forecast Data*

The forecast data has taken into consideration a catchment area from Northam to Mundaring, including Sawyers Valley and Wooroloo. The population numbers were obtained from the Australian Bureau of Statistics Census data (publicly available at [www.abs.gov.au](http://www.abs.gov.au)). The calculations that we have included are for Saturdays as we expect this to be the busiest trading day if meals are on offer. This figure is also calculated based on data for the peak period months of October to March.

Peak Period: Lunch from 12:00pm to 3:00pm, so a period of 3 hours

Meals served: 30 (approximately 4% of population in target "catchment area" plus 10%)

Meals served per hour: 10

Assuming patrons spend an average of 2 hours in venue

= 20 patrons on premise for food at a time

Patrons present for alcohol only during these hours: 2 (50% increase in current numbers)

Total patrons on site (average maximum per hour) = 22

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We surveyed customers currently attending Loosefoot Saloon regarding their transport arrangements and obtained the following results:

Transport Mode	Proportion of Respondents (%)
Car - Single occupant	3
Car - 2 occupants	34
Car - 3 occupants	22
Car - 4 or more occupants	9
Motorcycle	2
Drop off/pick up (no parking)	19
Walk to/from venue	11

Using this distribution, only 35% of patrons require a parking bay.

35% of 22 = 8

Staff requiring parking on site during these hours: 4

So maximum car park bays required for normal trading is 8 + 4

= Forecast maximum average of 12 car park bays required

To ensure that we have sufficiently catered for patron requirements, we also analysed a scenario involving a special "event", for example if a birthday party was held at the venue. Although no specific data is obtainable from our records, we have anecdotal evidence that on the busiest night the venue has ever experienced, approximately 70 patrons attended. Assuming that this increases by 40% with the addition of the kitchen, approximately 100 patrons (plus 4 staff) need to be considered.

Each week, management forecast customer numbers expected based on previous week sales, feedback from customers, and consideration of any events. Previously, when customer numbers were forecast to exceed 40, management would arrange a bus (hired from Shire of Northam) to provide a drop off and pick up service in surrounding areas. This bus ensures transport for 45 people. Should this application proceed, management intend to continue providing this service when customer numbers are forecast in excess of 85. That leaves approximately 60 patrons requiring alternative transport methods. Again, using the previous distribution, only 35% of these patrons would require a car park bay.

35% of 60 = 21

Plus 4 additional bays required for staff

= Maximum of 25 bays required for special events

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We have also allowed for a 10% error margin in our calculations.

10% of 25 = 2.5

Therefore, the upper limit of the expected error margin = 28 car park bays required

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Appendix One: Images of Derelict Structure



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Appendix Two: Images of Courtyard



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**13.2.3 APPLICATION FOR A CHANGE OF USE - PRIVATE RECREATION  
(MOTORCYCLE RECREATION PARK) - LOT 471 RESERVE 51213 OLD  
QUARRY ROAD, NORTHAM**

Name of Applicant:	Northam District Motorcycle Club Inc
Name of Owner:	Crown Land - Shire of Northam
File Ref:	A15887/P2146
Officer:	Chadd Hunt / Kobus Nieuwoudt
Officer Interest:	Nil
Policy:	Local Planning Scheme No.6 Planning & Development Act 2005 Planning Regulations 2015
Voting:	Simple Majority
Date:	16 December 2015

**PURPOSE**

Council is requested to consider an application for a private recreation (motorcycle Recreation Park) and associated activities at Lot 471 Reserve 51213 Old Quarry Road, Northam (also known as the 'Commonage').

The application relates to the use of the land and the works associated with the establishment of the track only. The application is being referred to Council for consideration as the land is a reserve vested with the Shire of Northam. Should the applicant be granted planning approval, the applicant will seek to lease the portion of land subject to this application from the Shire which would be subject to a separate application process.

**BACKGROUND**

The applicant is the Northam District Motorcycle Club who have not had a permanent track for a number of years. The club previous occupied a track located on Mitchell Avenue, however due to noise issues associated with the encroaching urban development they were forced to close.

The proposed motorcycle recreation park is located on a 13ha portion of Lot 471 Old Quarry Road as depicted in Appendix 1. The motorcycle recreation park consists of a single unsealed trail bike circuit and associated jumps, spectator viewing areas, car parking areas and provision for future club rooms, canteen and toilet facilities as shown on the indicative layout plan in Appendix 2.

Following liaison with Main Roads Western Australia, it was determined that a safe access point to the site could not be achieved from the Great Eastern Highway. It is proposed that

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visitors to the site will enter and exit via an unsealed access track that has access from the Old Quarry Road. The track runs past the pound and through an unutilised eastern portion of the Northam Tip and across the Commonage land.

It should be noted that the majority of motorbikes be brought to the site on the back of utility vehicles or on trailers.

It is considered that an event approval permits for any events proposed at the motorbike recreation park would be required in addition to the land use approval.

### **STATUTORY REQUIREMENTS**

#### LOCAL PLANNING SCHEME NO 6

Lot 471 Reserve 44700 Old Quarry Road, Northam is approximately 184 hectares and is zoned 'Reserve' under Local Planning Scheme No.6.

As the property is zoned as a Reserve, there are no specific land use classifications within the Scheme's zoning table. It is considered that the natural of the proposal would otherwise fall under the definition of a 'Private Recreation' land use. The Planning and Development (Local Planning Schemes) Regulations 2015 defines 'Recreation -Private' as follows:

**“Recreation - private** means premises that are -

- (a) Used for indoor and outdoor leisure, recreation or sport; and
- (b) Not usually open to the public without charge;

Schedule 2 Part 9 Clause 67 of the Planning and Development Regulations specifies matters to be considered by the Local Government when determining an application.

- (a) *the aims and provisions of this Scheme and any other local planning scheme operating within the Scheme area;*
- (d) *any environmental protection policy approved under the Environmental Protection Act 1986 section 31(d);*
- (j) *in the case of land reserved under this Scheme, the objectives for the reserve and the additional and permitted uses identified in this Scheme for the reserve;*
- (m) *the compatibility of the development with its setting including the relationship of the development to development on adjoining land or on other land in the locality including, but not limited to, the likely effect of the height, bulk, scale, orientation and appearance of the development;*
- (n) *the amenity of the locality including the following —*
  - (i) *environmental impacts of the development;*
  - (ii) *the character of the locality;*
  - (iii) *social impacts of the development;*

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- (o) *the likely effect of the development on the natural environment or water resources and any means that are proposed to protect or to mitigate impacts on the natural environment or the water resource;*
- (q) *the suitability of the land for the development taking into account the possible risk of flooding, tidal inundation, subsidence, landslip, bush fire, soil erosion, land degradation or any other risk;*
- (r) *the suitability of the land for the development taking into account the possible risk to human health or safety;*
- (s) *the adequacy of —*
  - (i) *the proposed means of access to and egress from the site; and*
  - (ii) *arrangements for the loading, unloading, manoeuvring and parking of vehicles;*
- (t) *the amount of traffic likely to be generated by the development, particularly in relation to the capacity of the road system in the locality and the probable effect on traffic flow and safety;*
- (x) *the impact of the development on the community as a whole notwithstanding the impact of the development on particular individuals;*
- (y) *any submissions received on the application;*
- (za) *the comments or submissions received from any authority consulted under clause 66;*
- (zb) *any other planning consideration the local government considers appropriate.*

It is considered that the above points are applicable to this application which will be discussed in the Officer's Comment.

#### **ENVIRONMENTAL PROTECTION AUTHORITY GUIDELINES**

The Environmental Protection Authority (EPA) lists raceways for motor vehicles under its *Separation Distances between Industrial and Sensitive Land Uses Guidelines* (2005) as a land use that may potentially affect nearby sensitive land uses (including residential dwellings). The Guidelines advise that separate buffers should be considered by the local government on a case by case basis due to the potential for noise and dust impacts.

#### **PUBLIC CONSULTATION**

Due to the nature of the proposal, it was determined by Officers that the application be advertised for a period of 14 days in the following manner;

- Publication of a notice in the *Advocate* on 18<sup>th</sup> November 2015;
- Publication of a notice on the Shire's website from 19<sup>th</sup> November 2015 until 2<sup>nd</sup> December 2015; and
- Notifying a total of 14 adjacent and nearby land owners in writing on 18<sup>th</sup> November 2015 and inviting comment.

No submissions were received during the public notification period.

#### **CONFORMITY WITH COMMUNITY STRATEGIC PLAN / CORPORATE PLAN**

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OBJECTIVE C3: Provide active and passive recreation facilities and services

OBJECTIVE E2: Facilitate further development of regional tourism

There is an increasing need for an appropriately located site within the Shire where motor bike riders can undertake their activities in a location in which disturbances to residences is minimised.

The motor bike recreation park would likely attract visitors to the Shire who are also likely to visit other local activities supporting the growth of the regional tourism and events whilst also increasing the associated economic benefits that these visitors bring to the Shire.

### **BUDGET IMPLICATIONS**

The total cost of the planning fees for this application was \$388.00 including the \$256.00 development application fee and \$132.00 advertising fee.

### **OFFICER'S COMMENT**

#### Environmental Impact

The applicant is proposing to minimise impact upon the environmental value of the site, with the following strategies outlined in the indicative environmental management plan;

- There will be minimal clearing of native vegetation as the area in which the track is proposed has historically been cleared for agricultural use;
- Regular rubbish collection by the proponent;
- Refuelling is to take place in a designated area and;
- The use of rider and community education tools to promote environmental sustainability amongst its members.

It is considered that the proposal is consistent with the objectives for the rural zone and it would not have a detrimental effect upon the agricultural viability of the site.

#### Dust

It is considered that the motorbike activities will result in increased levels of dust which may affect neighbouring properties, if not managed effectively. The applicant has advised that their dust mitigation strategies include the use of track side watering as required and reliance on standard operating procedures (SOP's) for earthworks during race meeting and general track maintenance.

Should Council grant approval it is recommended that a condition be imposed requiring the applicant to prepare a formal dust management plans specifying how dust suppression techniques will be implemented.

#### Noise

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The applicant has advised that they will mitigate noise in accordance with the Motorcycling Australia 2015 Manual of Motorsports section 15.19 which specifies that as of 2016, the maximum noise generated would be 112dB with a 2 db(A) allowance pre-race or event along with a +1 db(A) post-race for degradation during the race or event.

Location

It is considered that there is increasing demand for an appropriate venue in the Shire for people to ride their motorbikes without causing disturbances to nearby residents.

The site bordered by the rubbish tip to the north, commonwealth land used by the military to the west and agricultural land to the south and east comprising of the commonage where there are no residential dwellings. Aside from the Detention Centre, the nearest residence is located 1.2km from the site at Waterfall Avenue, Northam (off Mitchell Avenue).

Therefore, it is considered that the proposed site is appropriately located for the proposed use as there will be minimal noise and dust impacts that could affect a residential dwelling.

Bushfire & Safety

It is envisaged that the track will be designed in accordance with the relevant safety requirements stipulated by the relevant national or state body for motorsports. Due to the nature of the proposal, it is recommended that a condition be imposed requiring the applicant to prepare a formal risk and emergency management plan to ensure that any potential risks to public health and safety are addressed.

The risk management and emergency management plan generally cover details on site first aid, fire fighting equipment, evacuation procedures, and also note that the Motorcycle Recreation Park will operated outside of the peak bushfire season, between the months of March and October.

Future Facilities

It is envisaged by the applicant that once all necessary approval are in place, permanent facilities including directional and safety signage, safety barriers, toilets, canteen and clubrooms would be constructed on site as shown in the indicative site layout in Appendix 2. It should be noted that these facilities will be subject to a separate application.

Hours of Operation

The applicant has advised that the hours of operation for the motorcycle recreation park is as follows;

- The Northam District Motor Cycle Club proposes to operate on Saturday and Sunday between 8:00am and 5:00pm during from March 1<sup>st</sup> to the 31<sup>st</sup> October each year.

Should Council grant approval Officers recommend that the applicant be required to keep an annual register detailing all operations on site, including the date and times in which they occurred, to be submitted to the Shire as a condition of approval.

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Conclusion

It is considered that this land use has and could (subject to approval) operate as an ancillary activity to the surrounding primary 'Rural' land use in the area. In addition to this, this use supports Council's strategic objective of encouraging tourism uses on appropriate land within the Shire.

Should Council grant planning approval, appropriate conditions are recommended to be imposed to ensure that this application does not impact the existing rural amenity.

The motorcycle recreation park provides an opportunity for an appropriate place for club members to ride their motorbikes without causing disturbances to surrounding residences. The park also has the potential to attract new events and tourism opportunities that attracts visitors to the Shire on day trips who would also visit other local activities supporting the growth of the local tourist businesses and events whilst also increasing the associated economic benefits that these visitors bring to the Shire.

**RECOMMENDATION**

**That Council grants Northam District Motorcycle Club development approval for a motorcycle track on a portion of Lot 471 on Reserve 44700 Old Quarry Road, Northam, generally in accordance with the plans that formed the subject of Appendix 1 and Appendix 2 of this report, subject to the following conditions:**

**Condition to be met within 2 months of approval**

- 1. Northam District Motorcycle Club entering into an agreement with the local government to lease the subject land within two (2) months of this approval subject to:
  - 1.1 Approval by the Minister for Lands to change the purpose of the said portion of Lot 471 on Reserve 44700 Old Quarry Road, Northam from 'Commonage' purpose to 'Motorcycle Sport – Recreation' purpose;**
  - 1.2 Term of lease to be Ten (10) years plus the possibility of two five (5) years extensions; and**
  - 1.3 Northam District Motorcycle Club bearing all costs associated with drafting the lease agreement.****

**General Conditions**

- 2. The development hereby permitted must substantially commence within two (2) years from the date of this decision letter.**
- 3. This approval will expire and the use permitted by this approval must cease on or before the expiry of the lease agreement referred to in Condition 1.**
- 4. Before the use and works start, amended plans to the satisfaction of the local government must be submitted to and approved by the local government. When approved, the plans will be endorsed by the CEO or the**

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Executive Manager Development Services and will then form part of the approval. The plans must be drawn to scale with dimensions and two copies must be provided. The plans must be generally in accordance with the plans attached to the application but modified to show the following:

- 4.1 Final track layout;
  - 4.2 Final location of clubrooms, toilets and timing area;
  - 4.3 Access road from Old Quarry road to the motorcycle track; and
  - 4.4 Final location of spectator barriers.
5. Vehicular access to the development hereby permitted shall be via Old Quarry Road only. There is to be no direct vehicular access from Great Eastern Highway.
  6. Northam Motorcycle Club shall have at all times a current public liability insurance policy taken out in the joint names of the Club and the local government indemnifying the Club and the local government for a sum of not less than \$50,000,000 (Fifty Million Dollars) in respect of any one claim. The Club shall provide to the local government a copy of the policy within 14 days after issue.
  7. The land use hereby permitted must operate in accordance with the requirements of the *Environmental (Noise) Protection Regulations 1997*.
  8. The hours of operation of the land use hereby permitted shall be limited to between 1<sup>st</sup> March to 31<sup>st</sup> October between the hours of 08:00 to 17:00 hours Saturday and Sunday and excluding public holidays unless subject to a separate event approval obtained from the local government.

**Conditions to be met prior to commencement of development**

9. Prior to the commencement of development, arrangements being made with the local government for the improvement of the access road to a suitable trafficable all weather standard.
10. Prior to occupation of the development, an operational management plan to the satisfaction of the local government shall be submitted to and approved by the local government. The plan shall address the following matters:
  - Waste Management;
  - Noise Management;
  - Dust Management;
  - Emergency Management;
  - Risk Management; and
  - Complaints handling.

Once approved, the operational management plan shall be implemented in its entirety.

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**11. Prior to commencement of development, all signage being submitted to and approved by the local government prior to installation.**

**Condition to be met if noise complaints received**

**12. In the event the local government receives complaints regarding noise, the Northam District Motorcycle Club shall commission an acoustics engineer agreed to by the local government to undertake, at the Club's full cost, a noise assessment of the operation of the motorcycle track indicating whether the development complies with condition 7 and, in the case of any noncompliance, what measures or works must be undertaken to achieve compliance. The acoustics engineer shall provide a copy of the report to the local government at the same time as providing the report to the Club. The local government shall make the report available for public inspection.**

**Conditions to be met prior to occupation of development**

**13. Prior to occupation of the development, provision shall be made for on-site car parking in accordance with Clause 5.13 of the *Shire of Northam Local Planning Scheme No.6* to accommodate a minimum of 200 vehicles at any given time.**

**14. Immediately upon completion of the development permitted by this approval, and prior to occupation of the development hereby permitted, Northam District Motorcycle Club must give written notice to the local government that, in their view, the development complies with all the requirements of this approval. The development must not be occupied until the local government has issued a statement in writing confirming that the development complies with this approval.**

**Conditions requiring ongoing compliance**

**15. All trafficable areas shall be treated and maintained in a manner which prevents or minimalizes the generation of airborne dust on an ongoing basis to the satisfaction of the local government and in accordance with the approved operational management plan.**

**ADVICE NOTES:**

**NOTE: A 3.0 metre firebreak being maintained along the property boundaries at all times.**

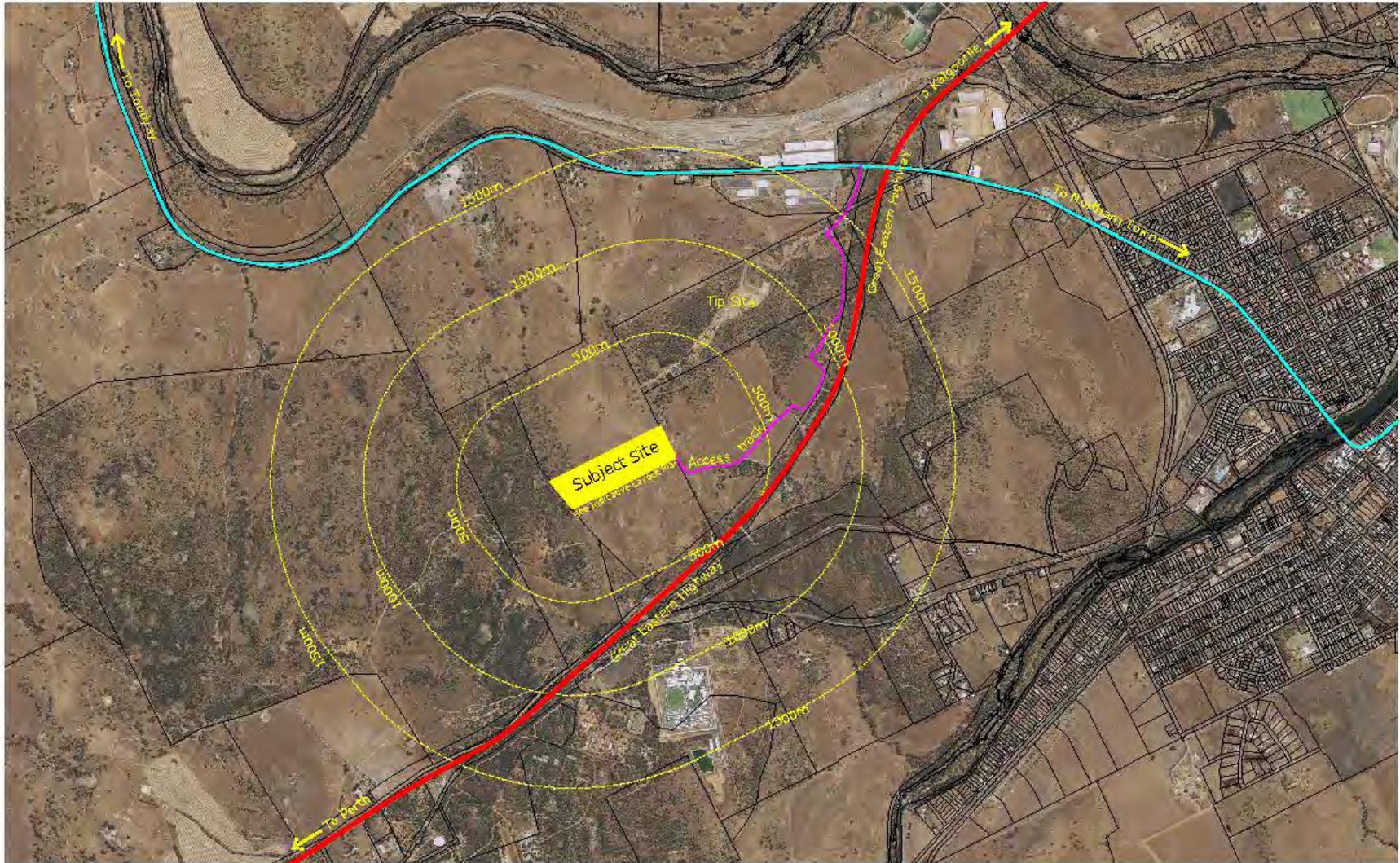
**NOTE: An application for a public event approvals in accordance with the provisions of the Health Act 1911 may be required from the Shire of Northam prior to any events.**

**NOTE: Applications for septic tanks and effluent disposal systems are to be submitted to and approved by the Local Government's Health Department.**

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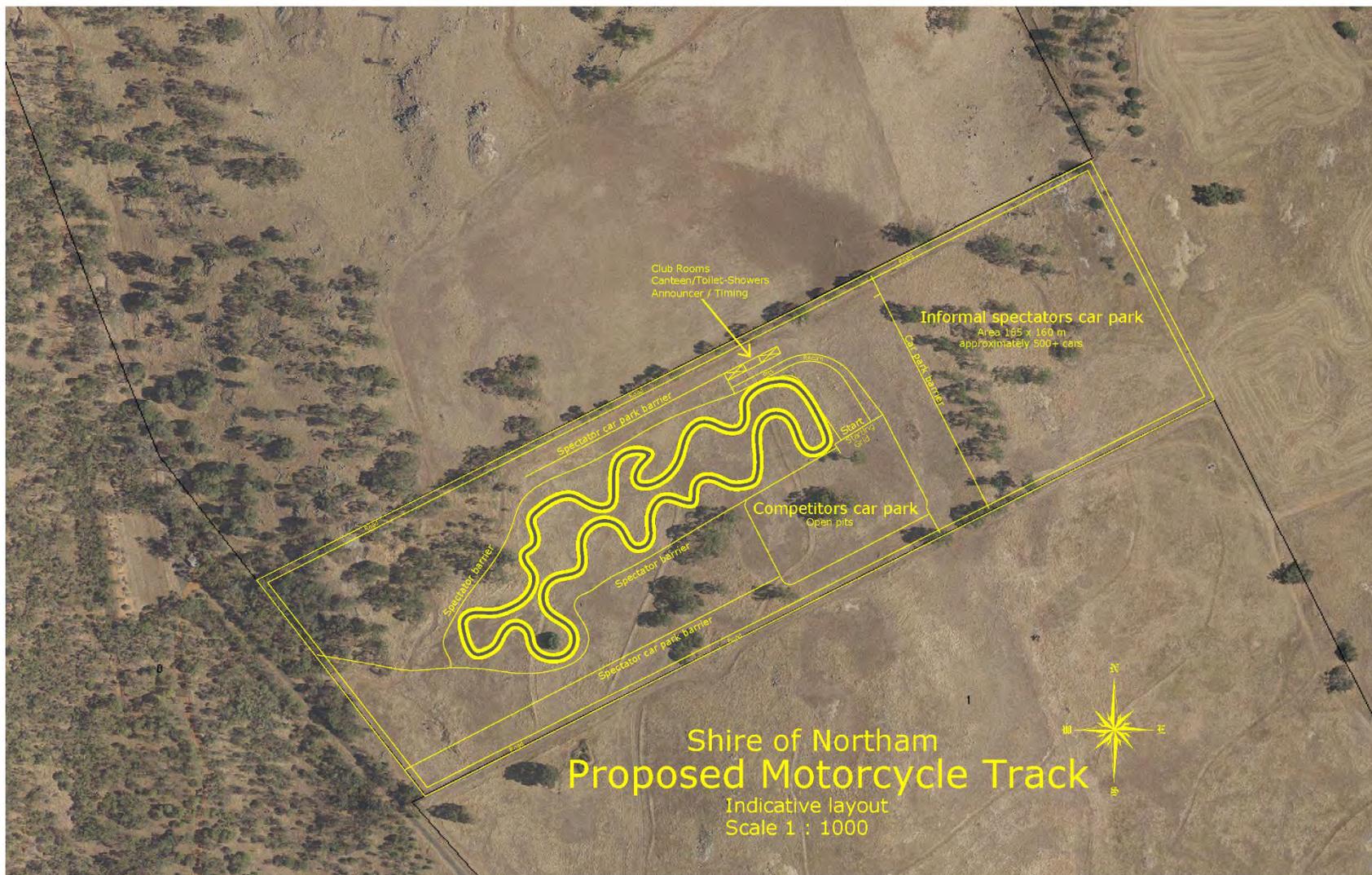
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**APPENDIX 1**



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**APPENDIX 2**



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**13.2.4 PROPOSED ROAD NAME – LANEWAY 1, 4 AND 7, NORTHAM AND ENDORSEMENT OF ROAD NAME REGISTER**

Name of Applicant:	N/A
Name of Owner:	Shire of Northam
File Ref:	3.1.8.11
Officer:	Chadd Hunt / Roy Djanegara
Officer Interest	Nil
Policy:	None
Voting:	Simple Majority
Date:	1 December 2015

**PURPOSE**

For Council to consider endorsing road names for newly dedicated public roads as part of the Shire of Northam Laneway Strategy and the registered road names for future road naming in the Shire of Northam.

**BACKGROUND**

At the Ordinary Council Meeting held on 15 April 2015, Council resolved as follows under Item 13.2.4 - Proposed Road Name – Laneway 1, 4 And 7, Northam (Minute No. C.2418):

*“That Council:*

- 1. Advises the Geographic Names Committee that it supports the names “Lee Steere Lane”, “Julius Close”, “Sweeting Cove”, “Procter Alley” and “Woolhouse Lane” for the proposed new road names for Laneway 1, Laneway 4, Laneway 7 Section 1, Laneway 7 Section 2 and Laneway 7 section 3a respectively.*
- 2. Seeks public comment, including from the Northam & Districts Historical Society, on suggested road names for inclusion on a road names database for the future naming of roads in the Shire of Northam.*
- 3. Request for the names Head (Ray Head), Antonio (David Antonio), Mciver (Ken Mciver) & Hawke (Burt Hawke) be included onto the road names database for the future naming of roads in the Shire of Northam”*

Shire officers have now actioned all of the above. The report on actions taken by officers is discussed under the ‘Officers Comment’ section of this report.

**STATUTORY REQUIREMENTS**

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The Geographic Names Committee is the responsible authority for approving road names within Western Australia. It is usual practice that the relevant local authority recommends to the Committee the preferred road names with the reasoning behind the names.

The Shire of Northam maintains a “Proposed Road Name Register” which was commenced by the former Town of Northam. However, a new list of registered names is proposed.

**CONFORMITY WITH STRATEGIC COMMUNITY PLAN / CORPORATE PLAN**

OBJECTIVE R1: Provide and support an effective and efficient transportation network.

STRATEGY R1.2: Maintain an efficient, safe and quality local road network.

Road names are required to provide easy identification of the location of property addresses and to provide directions for emergency service providers and the public alike.

**BUDGET IMPLICATIONS**

There are no financial implications for the Shire of the recommendations of this report.

**OFFICER’S COMMENT**

Report on Actions taken by Shire officers:

<b>Part 1 of Council’s resolution</b>		
Staff subsequently referred to the Geographic Names Committee (GNC) Council’s preferred names for the subject laneways and, on May 4 <sup>th</sup> , 2015, the GNC advised the Shire that it is prepared to approve 4 of the 5 names forwarded to them as follows:		
<b>Laneway</b>	<b>Names proposed by the Shire</b>	<b>Suggested Names by GNC</b>
1	Lee Steer Lane	Hillman Lane
4	Julius Close	Julius Lane
7a	Sweeting Cove	Sweeting Lane
7b	Procter Alley	Procter Alley
7c	Woolhouse Lane	Woolhouse Lane
	With respect to “Lee Steer Lane” above, the GNC advised that the name was deemed unsuitable as the name would be inconsistent with both Parts 3.1.3 ( <i>Pronunciation and use</i> – double-barrel names not permitted) and Part 8.4 ( <i>Road Name Duplication</i> – the name would duplicate the street name “Steere Street” in the Shire of York and located within a radius of 50km) of the GNC’s <i>Policies and Standards for Geographical Naming in Western Australia</i> publication. The GNC, for this reason, suggested *‘Hillman Lane’ is used instead.	
<b>Part 2 of Council’s resolution</b>		
Following Council’s resolution, staff wrote to the-		

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- Returned and Services League of Northam and Bakers Hill;
- Northam & Districts Historical Society; and
- Local historian Janice James

requesting suggested road names for inclusion on the Shire's road names database for future naming of roads.

No submissions were received from the Returned and Services League of Northam and Bakers Hill and the Northam & Districts Historical Society. Historian Janice James, however, submitted a list of proposed names to the Shire. Refer Appendix 1 – 'Register of Unused Street Names for the Future Naming of Roads in the Shire of Northam'.

In addition to the above, staff also placed an advertisement in *The Advocate* of 11<sup>th</sup> May 2015 inviting submissions for suggested road names for inclusion on the Shire's road names database until 29<sup>th</sup> June 2015. Four (4) submissions were received during the advertising period, proposing a total of 10 names for inclusion on the database. However, only 3 out of 10 names were found to be suitable for inclusion on the database.

**Part 3 of Council's resolution**

With respect to the four (4) names Council resolved to include on the database, officers advise that, with the exception of the name 'Mciver', none of the other names are currently eligible and/or suitable for inclusion.

Further consultation with the GNC revealed that the names 'Hawke' and 'Antonio' have already been used in the Shire of Northam, whereas the name 'Head' is currently not eligible for use because it would be inconsistent with Part 3.8.1 - Use of personal names of the GNC's guidelines. It is understood the late Ray Milne Head has not been deceased for at least two (2) years. In order to assign a name to commemorate an individual, the said individual has to have been deceased for at least two (2) years.

**RECOMMENDATION**

**That Council;**

- 1. Advises the Geographic Names Committee that it supports the names "Hillman Lane", "Julius Lane", "Sweeting Lane", "Procter Alley" and "Woolhouse Lane" for the proposed new road names for Laneway 1, Laneway 4, Laneway 7 Section 1, Laneway 7 Section 2 and Laneway 7 section 3a respectively.**
- 2. Supports the road names database for the future naming of roads in the Shire of Northam that formed the subject of Appendix 1 subject to endorsement of the names by the Geographic Names Committee.**

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**Register of Unused Street Names for the Future Naming of Roads in the  
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No	Names	Description	Contributor	Date Used	Location
1	Armstrong		Jan James		
2	Ashman		Cr Ulo Rumjanstev		
3	Bardon		Cr Ulo Rumjanstev		
4	Barker		Cr Ulo Rumjanstev		
5	Barndon		Cr Ulo Rumjanstev		
6	Beazley		Jan James		
7	Biddle		Research		
8	Blower		Cr Ulo Rumjanstev		
9	Brede		Research		
10	Connolly		Jan James		
11	Curphey		Cr Ulo Rumjanstev		
12	Dalwood		Cr Ulo Rumjanstev		
13	Delmage		Jan James		
14	Doherty		Cr Ulo Rumjanstev		
15	Dr. Aberdeen	Doctor	Jan James		
16	Dr. Chester	Doctor	Jan James		
17	Dr. Growse	Doctor	Jan James		
18	Dr. Hodby	Doctor	Jan James		
19	Dr. Holland	Doctor	Jan James		
20	Dr. Hope	Doctor	Jan James		
21	Dr. Hussey	Doctor	Jan James		

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**Register of Unused Street Names for the Future Naming of Roads in the  
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No	Names	Description	Contributor	Date Used	Location
22	Dr. Scott	Doctor	Jan James		
23	Ennor		Cr Ulo Rumjanstev		
24	Evens		Cr Ulo Rumjanstev		
25	Finch		Cr Ulo Rumjanstev		
26	George		Cr Ulo Rumjanstev		
27	Gibbs		Ms.Gibbs		
28	Giblett		Jan James		
29	Gladman		Cr Ulo Rumjanstev		
30	Gwynne		Cr Ulo Rumjanstev		
31	Hargraves		Cr Ulo Rumjanstev		
32	Head		Council resolution		
33	Higgs		Belle Moore		
34	Hooley		Jan James / Cr Ulo Rumjanstev		
35	Hudson		Cr Ulo Rumjanstev		
36	Hughes		Belle Moore		
37	Jaeschke		Cr Ulo Rumjanstev		
38	Lee		Belle Moore		
39	Longmuir		Belle Moore		
40	Mann		Cr Ulo Rumjanstev		
41	Manson		Cr Ulo Rumjanstev		

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**Register of Unused Street Names for the Future Naming of Roads in the  
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No	Names	Description	Contributor	Date Used	Location
42	Matthews		Cr Ulo Rumjanstev		
43	McGann		Cr Ulo Rumjanstev		
44	McIver		Council's resolution		
45	McPherson		Cr Ulo Rumjanstev		
46	Mead		Belle Moore		
47	Monger		Jan James		
48	Myers		Cr Ulo Rumjanstev		
49	Overton		Mrs.Overton		
50	Pallier		Cr Ulo Rumjanstev		
51	Phillips		Jan James		
52	Pumphrey		Cr Ulo Rumjanstev		
53	Riley		Cr Ulo Rumjanstev		
54	Rowe		Cr Ulo Rumjanstev		
55	Sanders		Belle Moore		
56	Sands		Belle Moore		
57	Southern		Cr Ulo Rumjanstev		
58	Spargo		Cr Ulo Rumjanstev		
59	Stephens		Cr Ulo Rumjanstev		
60	Stoneman		Cr Ulo Rumjanstev		
61	Towton		Jan James		
62	Tucker		Cr Ulo Rumjanstev		

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**Register of Unused Street Names for the Future Naming of Roads in the  
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No	Names	Description	Contributor	Date Used	Location
63	Watson		Jan James		
64	Wilkerson		Jan James / Belle Moore		
65	Wilmot		Belle Moore		
66	Woods		Cr Ulo Rumjanstev		
67	Yaldyn		Cr Ulo Rumjanstev		
68	Yates		Belle Moore		

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**13.2.5 SEA CONTAINER POLICY REVIEW**

Name of Applicant:	N/A
Name of Owner:	N/A
File Ref:	7.2.4.1
Officer:	Chadd Hunt / Kobus Nieuwoudt
Officer Interest:	Nil
Policy:	<i>Local Planning Scheme No.6</i> <i>Planning &amp; Development Act 2005</i> <i>Planning Regulations 2015</i>
Voting:	Simple Majority
Date:	1 December 2015

**PURPOSE**

Council is asked to review Shire of Northam Local Planning Policy No.5 – Use of Sea Containers & Other Similar Storage Structures (the Policy).

It is recommended Council resolve to advertise the amended Policy for public comments.

**BACKGROUND**

Council adopted Local Planning Policy No.5 ‘Use of Sea Containers & Other Similar Storage Structures’ at its Ordinary Meeting held on 18<sup>th</sup> December 2013.

A copy of the Policy in its current guise is attached. Refer Appendix 1.

While the Policy has operated reasonably well since its adoption, officers have, however, identified a number of shortcomings that is required to be addressed. These generally relate to matters such as structure of the Policy, matters the Policy is currently silent on (sea containers exempted from development approval) and the general lack of guidance for officers when assessing development proposals for sea containers in the “Commercial”, “Mixed Use”, “Development” and “Tourist” zones or on Reserves.

The revised Policy (Appendix 2) seeks to address these and other issues in the following manner by:-

- Removing ambiguous statements and statements of a ‘general nature’ in the current Policy. For example, the current Policy states that the location of sea containers or other similar structures *will generally not be permitted in the “Commercial”, “Mixed Use”, “Development” and “Tourist” zones or on Reserves.* While the intent of that provision is understood, the current Policy doesn’t make it clear the matters/criteria officers are required to consider when assessing the

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application (refer Clause 5.4 of the Revised Policy). The revised Policy now addresses this issue by citing the criteria officers will consider as part of its assessment and determination.

- Changing the format of the Policy to improve readability, interpretation and implementation;
- Clarifying when sea containers and similar storage containers are exempted from Development Approval (Clause 2.3);
- Citing the relationship of the Policy to other Local Planning Policies (Clause 2.4);
- Improving the primary objectives of the Policy (Clause 3);
- Clarifying when applications for Development Approval for sea containers will be granted delegated Development Approval (Clause 4.1);
- Clarifying when applications for Development Approval for sea containers will require full Council approval (Clause 4.2);
- Including a statement that applications for Development Approval for sea containers are not permitted on any land zoned 'Residential' under Council's Local Planning Scheme No.6 (Clause 5.1);
- Including a statement that applications for Development Approval for sea containers in the Rural Residential and Rural Smallholding Zones will be granted temporary Development Approval only (Clause 5.2); and
- Including a statement that applications for Development Approval for sea containers in the Rural, General Industry and Light and Service Industry Zones will be granted full Development Approval subject to the matters listed subclauses 5.3.1 up to and including subclause 5.3.4 (Clause 5.4);

## **STATUTORY REQUIREMENTS**

### *Statutory basis for preparation of local planning policies*

Local Planning Policies are provided for in Part 2, Division 2, Clause 3 of Schedule 2 of the *Planning and Development (Local Planning Schemes) Regulations 2015* ('the Regulations'). Clause 3(1) states that a local government may prepare a local planning policy in respect of any matter relating to the planning and development of the Scheme area.

In accordance with clause 3(2) of the Regulations a local planning policy –

- (a) may apply generally or in respect of a particular class or classes of matters specified in the policy; and
- (b) may apply to the whole of the Scheme area or to part or parts of the Scheme area specified in the policy.

In accordance with clause 3(3) of the Regulations a local planning policy must be based on sound town planning principles and may address either strategic or operational considerations in relation to the matters to which the policy applies.

Clause 3(4) of the Regulations gives the local government the ability to amend or repeal a local planning policy and clause 3(5) determines that the local government must have

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regard to each local planning policy to the extent that the policy is consistent with the Scheme.

*Procedure for making local planning policy*

If a local government resolves to prepare a local planning policy, the local government must follow the procedure under clause 4(1) up to and including clause 4(6) of the Regulations as follows:

- “(1) If the local government resolves to prepare a local planning policy the local government must, unless the Commission otherwise agrees, advertise the proposed policy as follows —*
  - (a) publish a notice of the proposed policy in a newspaper circulating in the Scheme area, giving details of —*
    - (i) the subject and nature of the proposed policy; and*
    - (ii) the objectives of the proposed policy; and*
    - (iii) where the proposed policy may be inspected; and*
    - (iv) to whom, in what form and during what period submissions in relation to the proposed policy may be made;*
  - (b) if, in the opinion of the local government, the policy is inconsistent with any State planning policy, give notice of the proposed policy to the Commission;*
  - (c) give notice of the proposed policy in any other way and carry out any other consultation the local government considers appropriate.*
- (2) The period for making submissions in relation to a local planning policy must not be less than a period of 21 days commencing on the day on which the notice of the policy is published under subclause (1)(a).*
- (3) After the expiry of the period within which submissions may be made, the local government must —*
  - (a) review the proposed policy in the light of any submissions made; and*
  - (b) resolve to —*
    - (i) proceed with the policy without modification; or*
    - (ii) proceed with the policy with modification; or*
    - (iii) not to proceed with the policy.*
- (4) If the local government resolves to proceed with the policy, the local government must publish notice of the policy in a newspaper circulating in the Scheme area.*
- (5) A policy has effect on publication of a notice under subclause (4).*
- (6) The local government —*

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- (a) must ensure that an up-to-date copy of each local planning policy made under this Scheme is kept and made available for public inspection during business hours at the offices of the local government; and*
- (b) may publish a copy of each of those local planning policies on the website of the local government.”*

Should Council resolve to adopt the draft Policy for advertising, subclause 4(1)(a) will be undertaken in late December and early January 2016, with the matter returned to Council for consideration of subclause 4(3) of the Regulations at the January 2016 Ordinary Meeting.

**CONFORMITY WITH COMMUNITY STRATEGIC PLAN / CORPORATE PLAN**

The following objectives in the Shire’s Strategic Community Plan has a bearing on this proposal:

OBJECTIVE P2: Accessible and legible communities.

**BUDGET IMPLICATIONS**

There will be approximately \$300 of advertising costs.

**OFFICER’S COMMENT**

The revised Policy has been designed to improve readability, interpretation and implementation. It is considered the revised Policy is an improvement over the current Policy and will improve decision-making, resulting in better outcomes for the Shire.

It is recommended Council resolves to adopt Shire of Northam Local Planning Policy No.5 – Use of Sea Containers & Other Similar Storage Structures for the purpose of advertising. The current Policy will remain effective until Council has resolved to adopt the revised Policy.

**RECOMMENDATION**

**That Council adopt for advertising revised Local Planning Policy No.5 ‘Use of Sea Containers & Other Similar Storage Structures’ under Part 2, Division 2, subclause 4(1)(a) of Schedule 2 of the *Planning and Development (Local Planning Schemes) Regulations 2015* in accordance with the document that formed the subject of Appendix 2 of this report.**

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**ATTACHMENT 1**



Shire of Northam Policy Manual - LPP 5 - Use of Sea Containers & Other Similar Storage Structures

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**LOCAL PLANNING POLICY**

POLICY NO:	LPP 5
POLICY SUBJECT:	USE OF SEA CONTAINERS & OTHER SIMILAR STORAGE STRUCTURES
ADOPTION DATE:	18 December 2013
LAST REVIEW:	17 April 2013

**OBJECTIVES**

The primary objectives are to:

- (a) To provide guidelines for the placement, use, size and construction of sea containers or other similar storage structures.
- (b) To maintain a high level of visual amenity in the areas in which the sea containers will be located.

**DEFINITIONS**

The following are definitions that may be used as part of this policy in addition to the definitions included in Local Planning Scheme No 6:

**“Building Envelope”** means an area of land within a lot marked on a plan approved by the responsible authority within which all buildings and effluent disposal facilities on the lot must be contained.

**“Council”** means the elected members of the Shire.

**“Dwelling”** means a building or portion of a building being used, adapted, or designed or intended to be used for the purpose of human habitation on a permanent basis by a single person, a single family, or no more than six persons who do not comprise a single family.

**“Donga”** means a transportable building typically utilised as workers’ accommodation throughout the mining industry and/or utilised as site offices and/or has the general appearance of mine site accommodation.

**“LPS 6”** means Local Planning Scheme No 6.

**“Other similar storage structure”** is a prefabricated structure with a flat roof, regular in shape and is capable of being transported (includes a donga and a railway carriage).

**“Residential Design Codes”** or **“RDC”** means State Planning Policy 3.1 issued by the Department of Planning.

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“**Scheme**” means Local Planning Scheme No 6.

“**Sea Container**” means a large metal container originally manufactured to carry goods on a sea vessel.

“**Setback**” means the distance from boundaries as defined in Local Planning Scheme No 6 or the Residential Design Codes.

“**Shire**” means the Shire of Northam.

#### **STATUTORY POWERS**

This Local Planning Policy is made pursuant to clause 2.2 of the Shire’s Local Planning Scheme No 6.

#### **POLICY STATEMENT**

The location of sea containers and other similar structures within the Shire is regarded as development and will require planning approval.

All applicants will also be required to obtain a Building Permit.

For the purposes of assessment and approval, the local government will classify a sea container or other similar relocatable storage units as an outbuilding ancillary to the approved use of the land.

No sea container or other similar structure is permitted to be used for human habitation.

There will be no sea containers or other similar structures permitted in “Residential” zoned land within the Shire area. Sea containers and other similar structures used for temporary storage during the conduct of building works will be exempt from this requirement, provided that the following criteria are achieved:

1. The structure is only being used for the secure storage of materials, plant, machinery or building equipment on a building site.
2. The building site has a current building permit and, when necessary, planning approval.
3. Construction works are actively being undertaken on the site and do not lapse for any period greater than 30 days.
4. The structure does not impact on pedestrian or vehicle movements in any way or obstruct vehicle sight lines.

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5. The structure may not be permitted on the building site for a period longer than 6 months, unless specific approval from the Shire is obtained.
6. The structure is removed from the building site at the completion of the building works.

One smaller sea container (6m or less) or other similar structure may be temporarily or permanently used for storage on a property located in the "Rural Residential" and "Rural Smallholdings" zones subject, but not limited, to the following conditions:

- (a) The sea container or other similar structure shall be located to the rear of the dwelling and, in any event, within the allocated building envelope and shall not be visible from the street;
- (b) The sea container or other similar structure shall be located to be compliant with setbacks under the Scheme;
- (c) The sea container or other similar structure shall be fitted with doors and/or windows that can be opened from inside to ensure safety of users;
- (d) The sea container or other similar structure shall be painted to match the colour of the house and/or outbuilding and/or surrounding landscape;
- (e) The sea container or other similar structure shall not to be located over septic tanks, leach drains, utilities or easements;
- (f) That applicants shall obtain the written consent of surrounding landowners;
- (g) That the sea container or other similar structure shall be landscaped to screen it from surrounding landowners; and
- (h) That if the sea container or other similar structure falls into disrepair and/or becomes unsightly, the Shire will require its removal.

One larger sea container (up to 12m) or other similar structure may be used for temporary or permanent storage only on a property in the "General Industry", "Light and Service Industry" and "Rural" zones with the Shire's approval subject to, but not limited to, the following conditions:

- (a) The sea container or other similar structure shall be located to the rear of buildings and that it is not prominently visible from the street;
- (b) The sea container or other similar structure shall be located to be compliant with setbacks under the Scheme;

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- (c) The sea container or other similar structure shall be able to be opened from inside to ensure safety of users;
- (d) The sea container or other similar structure shall be painted to match the buildings on the lot;
- (e) The sea container or other similar structure shall not be located over septic tanks, leach drains or utilities;
- (f) The sea container or other similar structure obtain the written consent of the surrounding landowners; and
- (g) That if the sea container or other similar structure falls into disrepair and/or becomes unsightly, the Shire will require its removal.

Sea containers or other similar structures will generally not be permitted in the "Commercial", "Mixed Use", "Development" and "Tourist" zones or on Reserves (including road reserves).

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**ATTACHMENT 2**

*Shire of Northam Local Planning Scheme No.6*  
*Local Planning Policy No.5 – Use and Control of Sea Containers and Similar Storage Containers*

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**LOCAL PLANNING SCHEME NO.6**

**LOCAL PLANNING POLICY NO.5**

**‘Use and Control of Sea Containers and Similar Storage Containers’**

**1. PRELIMINARY**

**1.1 Authority to prepare and adopt a Local Planning Policy**

Schedule 2, Part 2, clause 3(1) of the *Planning and Development (Local Planning Schemes) Regulations 2015* (the Regulations) allows Council to prepare a Local Planning Policy in respect of any matter related to the planning and development of the Shire’s Local Planning Scheme No.6 (the Scheme) area.

This policy will be made effective once Council has completed the process stipulated in clause 4(1) up to and including clause 4(4) of the Regulations.

**1.2 Relationship of this Policy to the Scheme**

If a provision of this Policy is inconsistent with the Scheme, the Scheme prevails.

This Local Planning Policy is not part of the Scheme and does not bind Council in respect of any application for development approval. However, Council shall have due regard to the provisions of the Policy and the objectives which the Policy is designed to achieve before making its determination.

**2. APPLICATION OF THE POLICY**

**2.1 Purpose**

The purpose of this Local Planning Policy is to guide and control the use of sea containers and other similar storage containers.

**2.2 Application**

This policy applies to all zoned land in the whole district of the Shire of Northam.

**2.3 Exemptions**

This Policy does not apply to sea containers and similar storage containers located on Crown Reserves and road reserves.

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*Shire of Northam Local Planning Scheme No.6*  
*Local Planning Policy No.5 – Use and Control of Sea Containers and Similar Storage Containers*

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**2.3.1 Building and Subdivisional Work** - Sea containers and other similar storage containers located on private land used for temporary storage during the conduct of building works are exempted on the proviso that:

- Building construction must commence prior to bringing a sea container or other similar storage container onto the premises;
- The sea container or other similar storage container must be located on the land in accordance with Scheme setback requirements.
- The sea container or other similar storage container must be removed once the building works are complete; and
- The sea container or other similar storage container must be sited to avoid any impacts on surrounding neighbours and the amenity of the area.

**Note** - Under Section 64 of the *Building Regulations 2012*, builders may apply for a verge licence when carrying out building and/or demolition works. In order to gain approval to use the verge, a Verge Permit Application form must be submitted to the local government and approved with a site plan indicating the exact location of the sea container or other similar storage container.

**2.3.2 Delivery and Collection of Goods** - The local government may exempt a sea container or other similar storage container from requiring Development Approval where the sea container is used for temporary purposes for up to seven days associated with the delivery and collection of goods directly related to the approved use of a property. The sea container or other similar storage container must be located on the private property and cannot be located within a road reserve.

**2.3.3 Revocation of Exemptions** - The local government may revoke its exemption for a landowner using a sea container or similar storage container if the local government considers the temporary use has –

- extended beyond a reasonable period of time; or
- the sea container / similar storage container is adversely impacting the amenity of an area and/or for any other reasons considered relevant by the local government.

In these cases, the local government may require either Development Approval for the sea container / similar storage container be sought by the landowner/contractor, or immediate removal of the sea container or other similar storage container from the premises.

If the sea container or other similar storage container is not removed the local government can issue a Planning Infringement Notice (PIN) or commence prosecution for illegal development under the *Planning and Development Act 2005* and LPS6, or issue a Direction Notice.

**2.4 Relationship of this Policy to other Local Planning Policies**

This Policy is to be read in conjunction with the following Local Planning Policies:

- Local Planning Policy No.1 'Outbuildings';
- Local Planning Policy No.2 'Site Construction, General Development and Subdivision Guidelines';

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- Local Planning Policy No.19 'Residential Design Guidelines for the Rural Residential and Rural Smallholding Zones'.

**3. POLICY OBJECTIVES**

The primary objectives of this Policy are to –

- To ensure an acceptable quality of development is achieved that does not detrimentally affect the amenity and streetscape of the locality; and
- Establish guidelines for the placement of sea containers or other similar storage containers on land within the district of the Shire of Northam.

**4. APPROVAL REQUIREMENTS**

**4.1 Delegated Development Approval**

Clause 5.23 of the Scheme require the local government's Development Approval to relocate any sea containers to any lot.

Where a sea container / similar storage container is proposed that meets the requirements of this Policy, it will be granted Development Approval by Council's Chief Executive Officer or Council's Executive Manager Development Services under Delegated Authority from Council.

An Application for Development Approval is required to be lodged in accordance with Council's requirements and the scheduled fee paid.

Council's Chief Executive Officer or the Executive Manager Development Services may place conditions on the approval to ensure relevant provisions of this Policy are met by the development.

In considering an Application for Development Approval, the local government will consider the proposed location and condition of the sea container / similar storage container against the following criteria:

- The scale and bulk of existing buildings on the property to reduce the visual impact of the sea container or similar storage structure;
- The location of the sea container / similar storage container on the property and the ability of existing buildings, fencing and landscaping to reduce the visual impact of the sea container or other similar storage structure; and
- Ensuring the sea container / similar storage structure does not lead to a detrimental impact on the character or visual amenity of the locality.

Approval of the Development Approval application will be required prior to issue of a Building Permit and on-site works commencing.

**4.2 Full Council Development Approval required for all other proposals**

Where a sea container / other similar storage container is proposed that does not meet one or more requirements of this Policy, the application will require the approval of full Council. An Application for Development Approval is required to be lodged in accordance with Council's requirements and the scheduled fee paid. A written justification of the variation to the Policy sought is required to be lodged for consideration together with the Application.

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Where Council considers the proposed variation will adversely impact on the amenity of the locality and adjoining properties, it may place conditions on the approval to ensure the development complies with this Policy or refuse the application outright.

Approval of the application by full Council will be required prior to issue of a Building Permit and on-site works commencing.

4.3 Need for a Building Permit

A **Building Permit is required to be sought and issued for any structures prior to on-site works commencing**. Building Permit fees and levies are payable in accordance with the current Shire of Northam Fees and Charges.

5. **POLICY MEASURES**

5.1 Residential Zone

Sea containers and similar storage containers are **not** permitted on any land zoned 'Residential' by Shire of Northam Local Planning Scheme No.6.

5.2 Rural Residential and Rural Smallholding Zones

The local government may grant **Temporary** Development Approval for a **period of up to 12 months** for the use of sea containers and similar storage containers on any land zoned 'Rural Residential' or 'Rural Smallholding' subject to the following conditions:

5.2.1 A maximum of one (1) sea container up to 6m in length per property;

5.2.2 The sea container or other similar storage container to be located in accordance with the boundary setback and building envelope provisions for outbuildings for the particular property;

5.2.3 The sea container or other similar storage container shall not be located in front of the building setback and shall be screened from view of the street, including secondary streets and adjoining properties;

5.2.4 The sea container or other similar storage container shall be painted in a colour that is similar to or complementary to the colour of existing buildings on the property; and

5.2.5 The sea container or other similar storage container to be used for domestic storage purposes only.

5.3 Rural Zone, General Industry and Light and Service Industry Zones

The local government may grant Development Approval for the use of sea containers and other similar storage containers on any land zoned 'Rural' subject to the following conditions:

5.3.1 A maximum of one (1) sea container or other similar storage container up to 12m in length per property;

5.3.2 The sea container shall not be between the building and the street boundary and shall be screened from view of the street, including secondary streets and adjoining properties;

5.3.3 The sea container or other similar storage container to be located in accordance with the boundary setback provisions for outbuildings for the particular property; and

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*Shire of Northam Local Planning Scheme No.6*  
*Local Planning Policy No.5 – Use and Control of Sea Containers and Similar Storage Containers*

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5.3.4 The sea container or other similar storage container shall be painted in a colour that is similar to or complementary to the colour of existing buildings on the property.

**5.4 Commercial, Mixed Use and Tourism Zones**

In order to protect the visual amenity and streetscape of the locality, there is a **general presumption** against the use and location of sea containers and other similar storage containers on land zoned 'Commercial', Mixed Use' and 'Tourist'.

Sea containers and similar storage containers will generally not be permitted in these zones except where it can clearly be demonstrated, to the satisfaction of the local government, that –

- the need for a sea container or other similar storage container on the property is absolutely necessary; and
- the sea container will be used in association with the approved commercial enterprise on the property; and
- the sea container will not be detrimental to the visual amenity and streetscape of the locality.

In such cases the local government may grant **Temporary** Development Approval for **a period of up to 12 months** subject to the following conditions:

5.4.1 A maximum of one (1) sea container or other similar storage container up to **12m** in length per property;

5.4.2 The sea container or other similar storage container is to be used in association with the approved commercial enterprise on the property. Sea containers for domestic storage associated with a residential use is **not permitted**;

5.4.3 The sea container or other similar storage container shall not be located in front of the building setback and shall be screened from view of the street, including secondary streets and adjoining properties;

5.4.4 Development Approval will be issued for a period of up to 12 months only. Should the sea container or other similar storage container be required after this date, the landowner is to seek a new Development Approval. The local government will consider the granting of a new approval in the light of the prevailing legislative environment and the appropriateness of the sea container or other similar storage container to remain in use on the site; and

5.4.5 The sea container or other similar storage container shall be painted in a colour that is similar to or complementary to the colour of existing buildings on the property.

<i>Date Adopted:</i>	<i>18 December 2013</i>
<i>Date Effective:</i>	
<i>Date Reviewed:</i>	<i>16 December 2015</i>
<i>Next Review:</i>	

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**13.2.6 RFT 21 OF 2015 – INKPEN FIRE SERVICES BUILDING**

Name of Applicant:	Internal Report
Name of Owner:	N/A
File Ref:	5.1.4.4
Officer:	Chadd Hunt
Officer Interest:	Nil
Policy:	F3.2 Purchasing and Tendering
Voting:	Absolute Majority
Date:	16 December 2015

**PURPOSE**

For Council to approve the purchase of the supply and construction of the Inkpen Fire Services Building, as per tenders received within budget.

**BACKGROUND**

Request for tenders were advertised on the 7<sup>th</sup> November 2015 in the West Australian. The tender closed on 24 November 2015.

Tenderers were invited to provide a fixed price contract for the supply and construction of the Inkpen Fire Services Building.

Works and services to be completed under contract(s) will be for:

**Inkpen Fire Services Building, Supply and Construction as per the specifications supplied in the tender document.**

Employee's present at the tender opening were the:  
Executive Manager of Development Services, Building and Project Supervisor and the Contract Administration Officer.

Tenders were independently assessed by the:  
Executive Manager of Development Services and the Building and Project Supervisor, with an average score determined for assessment.

**STATUTORY REQUIREMENTS**

Section 3.57 of the Local Government Act 1995;

Local Government (Functions & General) Regulations 1996 prescribe the manner in which Tenders are to be assessed.

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In addition to the above, Council has an adopted Policy with respect to Regional Price Preference as set out below:

***“F 3.4 Regional Price Preference***

***Policy:*** *Council’s Regional Price Preference for locally produced goods and services will apply to all goods and services for which tenders are let, unless the Shire of Northam determines otherwise, and is to be:*

*Up to 10% with the contract is for goods and services, up to a maximum priced reduction of \$50,000.”*

This policy has been applied within the tender assessment process.

**CONFORMITY WITH THE STRATEGIC COMMUNITY PLAN / CORPORATE PLAN**

OBJECTIVE: Provide services and processes to enhance public safety.

STRATEGY: Provide, monitor and improve adequate bush fire protection provisions.

**FINANCIAL IMPLICATIONS**

The work to be performed is identified in the 2015/16 budget for a budgeted sum of \$280,851 which includes earthworks and infrastructure provision not included within the tender. Should the recommended tender be successful the entire project should be delivered within the overall budget.

**OFFICER’S COMMENT**

The assessment panel consisted of;

- |                 |   |
|-----------------|---|
| 1. Chadd Hunt   | Executive Manager of Development Services |
| 2. Nathan Gough | Building and Project Supervisor           |

There were five (2) submissions received for the advertised Tender, these included:

1. Wheatbelt Steel
2. T & R Homes

These submissions were assessed against the following pre-determined criteria’s:

Compliance Criteria

- Compliance with the conditions in the request;
- Compliance with Specification;
- Financial capacity to perform the works;
- Intent to Sub-Contract;

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- Declare any conflict of interest;
- Quality assurance;
- Occupational Health and Safety requirements;
- Insurance coverage;

Qualitative Criteria (Scored)

- |                              |     |
|------------------------------|-----|
| • Pricing                    | 50% |
| • Relevant Experience        | 20% |
| • Timeliness of Delivery     | 10% |
| • Safety and Risk Management | 10% |
| • Tenderers Resources        | 10% |

The assessment determined that both companies were reputable builders with the experience and the resources to supply a quality product.

**RECOMMENDATION**

**That Council, award RFT 21 of 2015, supply and construction of Inkpen Fire Services Building to Wheatbelt Steel for the tendered price of \$217,774 (ex GST)**

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**13.2.7 NORTHAM RECREATION CENTRE AIR-CONDITIONING FEASIBILITY**

Name of Applicant:	Internal
Name of Owner:	N/A
File Ref:	
Officer:	Chadd Hunt
Officer Interest:	Nil
Policy:	Nil
Voting:	Simple Majority
Date:	1 December 2015

**PURPOSE**

This report has been prepared to provide Council with options regarding the air-conditioning project for the Northam Recreation Centre.

**BACKGROUND**

As part of the 2015/16 Budget deliberations Council has included an allocation of \$500,000 for air-conditioning the sports hall of the Northam Recreation Centre. This followed an initial recommendation in the budget to allocate funding of \$350,000 for a mid-level evaporative air-conditioning option.

An initial assessment was undertaken by Tim Franklin Engineers which investigated 3 options for air-conditioning being –

1. High Volume Low Speed Fans (HVLS)
2. Evaporative Cooling
3. Refrigerated Air-conditioning

The report included some indicative capital costs however had limited information on the option of Indirect Evaporative Cooling or annual operating costs and life cycle costing. The recommended option of a mid-level evaporative air-conditioning option was included in the initial budget request as mentioned above.

Subsequent to the budget allocation staff have engaged a further report including the estimated benefits of the four options (including indirect evaporative cooling) and the operational and life cycle costings. A copy of this report is attached to the Agenda.

**STATUTORY REQUIREMENTS**

Nil.

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**PUBLIC CONSULTATION**

Nil.

**CONFORMITY WITH COMMUNITY STRATEGIC PLAN**

STRATEGY C3.1: Develop, maintain and support appropriate recreation facilities throughout the Shire

**BUDGET IMPLICATIONS**

As indicated above Council has allocated \$500,000 in the 2015/16 Budget for this project. If the recommendations included within the report are endorsed by Council additional funding will need to be included for completing this project.

**OFFICER'S COMMENT**

The current report has investigated five options for the cooling of the Recreation Centre being –

- Air-conditioning (AC)
- Evaporative Cooling (EC)
- Indirect Evaporative Cooling (IEC)
- HVLS Fans
- EC and HVLS Fans

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The table below summarises the findings of the latest report.

#### NORTHAM RECREATION CENTRE COMFORT COOLING OPTIONS

	Airconditioning	Evap Cooling	Indirect Evap Cooling	HVLS Fans	EC + HVLS
<b>Conditions</b>					
Ambient (°CDB/RH)	40.0/35%	40.0/35%	40.0/35%	40.0/35%	40.0/35%
Internal (°CDB/RH)	27.0/55%	31.0/75%	36.5/43%	40.0/35%	31.0/75%
Air Velocity (m/s)	0.5	1.5	1.0	3.0	3.0
Effective Temp (°CDB)	27.6	30.6	31.8	32.5	29.5
<b>Capital Costs</b>					
Mechanical	\$480,000.00	\$290,000.00	\$500,000.00	\$125,000.00	\$400,000.00
Electrical	\$5,000.00	\$5,000.00	\$5,000.00	\$3,000.00	\$5,000.00
Hydraulic	\$3,000.00	\$10,000.00	\$15,000.00	\$0.00	\$10,000.00
Building Works	\$175,000.00	\$50,000.00	\$50,000.00	\$0.00	\$50,000.00
<b>Total</b>	<b>\$663,000.00</b>	<b>\$355,000.00</b>	<b>\$570,000.00</b>	<b>\$128,000.00</b>	<b>\$465,000.00</b>
<b>Procurement Costs</b>					
Project Mgt	\$25,000.00	\$20,000.00	\$25,000.00	\$10,000.00	\$25,000.00
Architect	\$15,000.00	\$15,000.00	\$15,000.00	\$0.00	\$15,000.00
Mech Consultant	\$50,000.00	\$35,000.00	\$45,000.00	\$15,000.00	\$40,000.00
Structural Consult	\$20,000.00	\$20,000.00	\$20,000.00	\$0.00	\$20,000.00
<b>Total</b>	<b>\$110,000.00</b>	<b>\$90,000.00</b>	<b>\$105,000.00</b>	<b>\$25,000.00</b>	<b>\$100,000.00</b>
<b>Recurrent Costs</b>					
Energy	\$22,000.00	\$6,500.00	\$11,000.00	\$3,000.00	\$6,500.00
Maint	\$6,500.00	\$4,000.00	\$6,000.00	\$1,000.00	\$5,000.00
<b>Life Cycle</b>					
Years	20	10	10	20	
Replacement Cost	\$200,000.00	\$110,000.00	\$300,000.00	\$100,000.00	
<b>Power</b>					
Amps	150	40	60	10	50
Availability	Yes	Yes	Yes	Yes	Yes
<b>Building Works</b>					
Structural	AC unit platforms + access	EC unit platforms + access	IEC unit platforms + access	NIL	EC unit platforms + access
Screening	Yes	Yes	Yes	NIL	Yes
Hydraulic	Condensate drains	Condensate drains + Water Supply	Condensate drains + Water Supply	NIL	Condensate drains + Water Supply
Fabric Insulation	Required	Not Required	Not Required	NIL	Not Required
Other				NIL	
BL Required	Yes	Yes	Yes	No	Yes
<b>Program (wks)</b>					
Design & Document	8	8	8	2	8
Tender & Award	4	4	4	3	4
Execute	20	12	16	12	12
<b>Total</b>	<b>32</b>	<b>24</b>	<b>28</b>	<b>17</b>	<b>24</b>
<b>Cost Summary</b>					
Capital	\$773,000.00	\$445,000.00	\$675,000.00	\$153,000.00	\$565,000.00
Recurrent	\$30,500.00	\$10,500.00	\$17,000.00	\$3,000.00	\$13,500.00
Annual Sinking	\$10,000.00	\$11,000.00	\$30,000.00	\$5,000.00	\$16,000.00

In order to determine which option Council wishes to pursue, a direction on what the objective is that Council wants to achieve from the project is needed. For example if the main objective is for player comfort only then the HVLS fans would meet that criteria. If the objective is to meet improved conditions for both players, spectators and occasional events then the use of air-conditioning should be pursued. If this option is pursued the report is quite clear in the benefits and shortfalls of each of the options presented.

From staff's perspective the use of the refrigerated air-conditioning, whilst achieving the best conditions is cost prohibitive from both a capital purchase and also that additional works such as insulation will be required which has not been included within the budget figures.

Similarly the use of the IEC has a high capital cost and will achieve the same the same conditions (generally) as the more conventional EC.

From the report findings there are two options available, this being the use of a combination of HVLS fans and Evaporative Cooling or only to pursue the HVLS fans at this stage and reassess the installation of the Evaporative Units following a review period

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with the main user groups of the centre, being sporting clubs and organisations. As indicated in the report, staging the installation will have minimal additional costs.

It is recommended by staff that Council adopt the second option and assess the effectiveness over a full summer. It is hoped that should this option be effective, the installation of the additional evaporative cooling will not be required. This may provide Council with the opportunity to reassess the priority for funding on other capital works currently planned.

**RECOMMENDATION**

**That Council;**

- 1. Notes the contents and recommendations of the report on cooling options for the Northam Recreation Centre prepared by Geoff Hesford Consultants.**
- 2. Endorse the installation of HVLS fans for the cooling of the Northam Recreation Centre.**
- 3. Request the Chief Executive Officer to provide a report to Council in March 2017 giving an update on the operation and effectiveness of these fans.**

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**NORTHAM RECREATION CENTRE  
SPORTS HALL**

**REPORT ON COMFORT  
COOLING OPTIONS**

Prepared for:

SHIRE OF NORTHAM

Geoff  
Hestford  
BE MIEAUST

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***NORTHAM RECREATION CENTRE – COOLING OPTIONS***

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***NORTHAM RECREATION CENTRE – COOLING OPTIONS***

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**DOCUMENT HISTORY**

<b>Revision</b>	<b>Date Issued</b>	<b>Revision Comment</b>	<b>Author</b>
A	29 Nov 2015	Issued for Client Review	G Hesford

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#### ***NORTHAM RECREATION CENTRE – COOLING OPTIONS***

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#### **1.0 EXECUTIVE SUMMARY**

The Sports Hall of Northam Recreation Centre is naturally ventilated by a combination of:

- Low level wall louvres
- High level wall louvres
- A Fixed ridge vent
- Rotary cowls

With a summer design condition of 40.0°CDB / 26.4°CWB (35%RH) which can often be exceeded, conditions within the Hall have proven to be too uncomfortable to conduct sports activities or even more sedentary uses such as exhibitions.

This report has examined the installation of five cooling options being:

- Airconditioning (AC)
- Evaporative Cooling (EC)
- Indirect Evaporative Cooling (IEC)
- High Volume Low Speed (HVLS) Fans
- EC + HVLS Fans

Following a site visit, preliminary engineering has been undertaken to derive system capacities, and equipment selections to enable capital, recurrent and replacement costs to be determined.

Thermal Comfort is discussed herein and Effective Temperatures derived for each option.

A summary of the findings are as follows:

	AC	EC	IEC	HVLS Fans	EC + HVLS
Effective Temp (°CDB)	27.6	30.6	31.8	32.5	29.5
Capital	\$773,000.00	\$445,000.00	\$675,000.00	\$153,000.00	\$565,000.00
Recurrent	\$30,500.00	\$10,500.00	\$17,000.00	\$3,000.00	\$13,500.00
Annual Sinking	\$10,000.00	\$11,000.00	\$30,000.00	\$5,000.00	\$16,000.00
Time to Implement (wks.)	32	24	28	17	24

The Evaporative Cooling + HVLS Fans option is the recommended because it offers good thermal comfort for moderate costs.

This combination in reality will provide equal or better comfort conditions than the airconditioning option because the cooling effect of the evaporative cooling will be evenly spread across the courts and augmented by the high air movement from the fans.

This combination also enables the use of just the fans for a considerable time of the warmer months, particularly in the evenings.

If funding is an issue, then HVLS Fans on their own is the next preferred option. Evaporative cooling could be added as a second stage with no abortive costs incurred.

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## **2.0 INTRODUCTION**

### **2.1. SCOPE**

This report examines five options to provide cooling of the Sports Hall.

For each option the following aspects have been considered:

- Thermal Comfort
- Capital costs
- Procurement costs
- Recurrent costs
- Replacement costs
- Time to Implement

### **2.2. OBJECTIVES**

The objectives of this report are to present practical alternatives for the improvement of internal comfort conditions for the Sports Hall throughout the warmer months of the year.

By providing comparative comfort levels for the costs incurred, an objective decision can be made as to which option presents the most balance outcome.

### **2.3. METHODOLOGY**

Firstly a site visit was undertaken in the company of council staff and the electrical maintenance contractor to familiarise the author with the physical and services constraints of the building.

Preliminary engineering of all options was then undertaken to establish:

- System capacities
- Equipment selections and costs
- Power requirements
- Spatial requirements
- Noise considerations
- Thermal comfort levels

Detailed estimates were then undertaken for all costs (capital, recurrent & replacement).

Options have been presented in a spreadsheet format for easy comparison. (Appendix 1.0)

### **2.4. LIMITATIONS**

No structural engineering assessment has been made for the placement of equipment on structural platforms over the rooms on the NE side of the Sports Hall.

Experience suggests this will not be an issue for the Evaporative Cooling (EC) and Indirect Evaporative Cooling (IEC) options.

Whilst the Airconditioning option has heavier equipment, support from the existing structure should not be that difficult to achieve.

Water costs have not been estimated for the EC or IEC options as the variables make this impossible to predict with any accuracy.

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### **3.0 COSTS ESTIMATES**

#### **3.1. BASIS**

Capital, procurement and recurrent costs are based on today's rates and do not include the following:

- GST
- Escalation to time of Tender

Replacement costs equally have been calculated at today's rates.

#### **3.2. CAPITAL COSTS**

<b>Item</b>	<b>Comment</b>
Mechanical	Expected trade cost for all mechanical services works
Electrical	Costs to provide electrical supplies to equipment or Mechanical Services Switch Boards (MSSB's)
Hydraulic	Costs for provision of water and condensate drainage. Does not include monitored metering
Building Works	Costs for structural platforms, access, flashed wall penetrations and in the case of the AC option, to insulate the external tilt panel walls

#### **3.3. PROCUREMENT COSTS**

These costs are for engagement of:

- Project Manager
- Architect
- Mechanical Consultant
- Structural Consultant

No allowance has been made for internal costs of Shire employees.

#### **3.4. RECURRENT COSTS**

##### **3.4.1. Energy Costs**

It is very difficult to predict the energy costs of these options as the variables and assumptions to be considered are very wide.

Average load profiles have been assumed for each month varying from 100% to 80% for differing options for the hottest months to 0% for all options in the winter months

Operating hours have been taken as 8 hrs per day for 200 days per year = 1600 hrs/year and this has been applied to all options.

Average electricity cost has been taken @ \$0.25/kWhr.

##### **3.4.2. Maintenance Costs**

Maintenance costs include normal labour and consumables for routine maintenance.

They do not include service call outs or unexpected replacements/repairs beyond the contract warranty period.

#### **3.5. REPLACEMENT COSTS**

Replacement costs include for the replacement of equipment at the end of their economic life spans.

For simplistic comparative purposes a "sinking cost" has been derived as Replacement Cost/Life Span

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#### NORTHAM RECREATION CENTRE – COOLING OPTIONS

#### 4.0 THERMAL COMFORT

Thermal comfort is a very complex parameter to describe and/or calculate and is a function of many factors, the principle ones being:

- Dry Bulb Temperature
- Relative Humidity
- Occupant metabolic rate (activity)
- Clothing
- Air velocity

The following is extracted from Wikipedia.

**Thermal comfort** is the condition of mind that expresses [satisfaction](#) with the thermal environment and is assessed by subjective evaluation ([ANSI/ASHRAE Standard 55](#)).<sup>[1]</sup> Maintaining this standard of thermal comfort for occupants of buildings or other enclosures is one of the important goals of [HVAC](#) ([heating](#), [ventilation](#), and [air conditioning](#)) design engineers.

Thermal neutrality is maintained when the heat generated by human metabolism is allowed to dissipate, thus maintaining thermal equilibrium with the surroundings. The main factors that influence thermal comfort are those that determine heat gain and loss, namely [metabolic rate](#), [clothing insulation](#), air temperature, [mean radiant temperature](#), air speed and [relative humidity](#). Psychological parameters such as individual expectations also affect thermal comfort.<sup>[2]</sup>

The Predicted Mean Vote (PMV) model stands among the most recognized thermal comfort models. It was developed using principles of heat balance and experimental data collected in a controlled climate chamber under steady state conditions.<sup>[3]</sup> The adaptive model, on the other hand, was developed based on hundreds of field studies with the idea that occupants dynamically interact with their environment. Occupants control their thermal environment by means of clothing, operable windows, fans, personal heaters, and sun shades.<sup>[4][5]</sup>

The PMV model can be applied to air conditioned buildings, while the adaptive model can be generally applied only to buildings where no mechanical systems have been installed.<sup>[6]</sup> There is no consensus about which comfort model should be applied for buildings that are partially air conditioned spatially or temporally.

Thermal comfort calculations according to [ANSI/ASHRAE Standard 55](#)<sup>[7]</sup> can be freely performed with the [CBE Thermal Comfort Tool for ASHRAE 55](#).

The CBE Thermal Comfort Tool for ASHRAE 55 has its limitations when operating in the ranges of temperature, humidity and metabolic rate associated with indoor sports.

However this tool has been used to provide comparative "Effective Temperatures" for each option using a metabolic rate of 2.0 (Walking @ 3.2 km/hr). Basketball has a metabolic rate of 6.3, however when applied, the calculator crashes at the estimated internal conditions!!

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#### **5.0 CONSTRAINTS**

##### **5.1. NOISE**

The neighbouring property to the SW kills any consideration of locating equipment on this side of the building.

Whilst it may be possible to select equipment then house it in acoustic enclosures, the costs of such attenuation would be prohibitive and in the case of the EC & ICE options the additional pressure drop to the airflow would render these options useless.

##### **5.2. INFRASTRUCTURE**

There are no foreseen constraints in terms of electrical or hydraulic services to support any of the options considered.

##### **5.3. STRUCTURE**

As noted earlier, detailed structural assessment to support plant over the over the rooms on the NE side of the Sports Hall.

Whilst the Airconditioning option has heavier equipment, support from the existing structure should not be that difficult to achieve.

Experience suggests this will not be an issue for the Evaporative Cooling (EC) and Indirect Evaporative Cooling (IEC) options.

##### **5.4. BCA SECTION J REQUIREMENTS**

The installation of airconditioning will require the installation of insulation to the tilt panels exposed to external elements.

This is considered the absolute minimum on the basis that an Alternative Solution could be developed to demonstrate that it the conditioned space is below the 4.0m height of the tilt panels and that the heat gains from the upper walls and roof do not impact on the cooling demands of the occupied space.

The EC, IEC and High Volume Low Speed (HVLS) fan options all consume well less than the 15 W/sqm limitation which would require insulation being applied to the tilt panels.

# SHIRE OF NORTHAM

## AGENDA

### COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015

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#### ***NORTHAM RECREATION CENTRE – COOLING OPTIONS***

### **6.0 OPTIONS CONSIDERED**

#### **6.1. AIRCONDITIONING**

##### **6.1.1. Design Criteria**

To establish system capacities, the following Design Criteria have been used:

Ambient Conditions	Summer	40.0°CDB / 26.4°CWB (35%RH)
Internal Conditions	Summer	27.0°CDB/50%RH
Control Tolerance	Temperature	± 1.5°C DB about set point.
	Humidity	No specific humidity controls; Resultant humidity levels are achieved by virtue of cooling coil performance.
Occupancy		400 people
Minimum Fresh Air Rate		2,500 l/s

##### **6.1.2. Systems Description**

The above criteria indicate a total cooling demand of 200 kW.

Four off 55 kW nominal capacity roof top package units would be located on screened structural platforms over the roofs of the rooms to the NE side of the Sports Hall.

Conditioned air would be delivered to the occupied zone (4000H) via insulated ductwork suspended/bracketed along the NE wall just above the tilt panels and utilising double deflection sidewall registers.

Return air would be drawn through a return air grille mounted behind the supply air ductwork as the supply air ductwork will be located approximately 400 mm in front of the grille to enable it to pass in front of the columns.

The registers would be sized to throw the conditioned air approximately half way across the court as trying to throw all the way would result in unacceptable noise levels and pressure drops.

This means there will be temperature gradient across the court (approximately 2 degrees) dependent on the level of on court activity that will assist in dispersing the cooler air across the court.

All units would be controlled and monitored by the existing BMS system thus enabling time programming, fault enunciation and temperature setpoint adjustment.

At these cooling capacities, the units will incorporate economy cycles to utilise 100% outside air when more economical to do so.

##### **6.1.3. Associated Works**

Associated works required are as follows:

<b>Discipline</b>	<b>Works</b>
Building	Insulation of tilt panels Flashed wall penetrations
Structural	AC platforms Screening Access
Electrical	Submains to units/MSSB
Hydraulic	Condensate drains to AC units

# SHIRE OF NORTHAM

## AGENDA

### COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015

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#### ***NORTHAM RECREATION CENTRE – COOLING OPTIONS***

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##### **6.1.4. Building Licence**

Given the extent of works and particularly as it incorporates structural work, a Building Licence will be required.

##### **6.1.5. Program**

Estimated time to fully implement the works from approval to proceed is 32 working weeks.

#### **6.2. EVAPORATIVE COOLING**

##### **6.2.1. Design Criteria**

To establish system capacities, the following Design Criteria have been used:

Ambient Conditions	Summer	40.0°CDB / 26.4°CWB (35%RH)
Internal Conditions	Summer	31.0°CDB/75%RH
Occupancy		400 people

##### **6.2.2. Systems Description**

The above criteria indicate a total supply air quantity of approximately 30,000 l/s is required.

Four off 7,500 l/s EC units would be located on screened structural platforms over the roofs of the rooms to the NE side of the Sports Hall.

Supply air distribution would be similar to that described for the AC option.

However, there is no return air and vitiated air would be relieved via the high level louvered openings and the ridge vent.

Again conditioned air would be thrown approximately half way across the court.

All units would be controlled and monitored by the existing BMS system thus enabling time programming, vent/cooling operation and fault enunciation.

##### **6.2.3. Associated Works**

Associated works required are as follows:

<b>Discipline</b>	<b>Works</b>
Building	Flashed wall penetrations
Structural	EC platforms Screening Access
Electrical	Submains to units/MSSB
Hydraulic	Water supplies to the EC units Condensate drains to EC units

##### **6.2.4. Building Licence**

Given the extent of works and particularly as it incorporates structural work, a Building Licence will be required.

##### **6.2.5. Program**

Estimated time to fully implement the works from approval to proceed is 24 working weeks.

# SHIRE OF NORTHAM

## AGENDA

### COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015

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#### ***NORTHAM RECREATION CENTRE – COOLING OPTIONS***

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#### **6.3. INDIRECT EVAPORATIVE COOLING**

##### **6.3.1. Design Criteria**

To establish system capacities, the following Design Criteria have been used:

Ambient Conditions	Summer	40.0°CDB / 26.4°CWB (35%RH)
Internal Conditions	Summer	36.5°CDB/45%RH
Occupancy		400 people

##### **6.3.2. Systems Description**

The above criteria indicate a total supply air quantity of approximately 16,000 l/s is required.

Four groups of IEC units, each group comprising 4 x 1,000 l/s units would be located on screened structural platforms over the roofs of the rooms to the NE side of the Sports Hall.

Supply air distribution would be similar to that described for the AC option.

As there is no return air, vitiated air would be relieved via the high level louvered openings and the ridge vent.

Again conditioned air would be thrown approximately half way across the court.

All units would be controlled and monitored by the existing BMS system thus enabling time programming, vent/cooling operation and fault enunciation.

##### **6.3.3. Associated Works**

Associated works required are as follows:

<b>Discipline</b>	<b>Works</b>
Building	Flashed wall penetrations
Structural	EC platforms Screening Access
Electrical	Submains to units/MSSB
Hydraulic	Water supplies to the EC units Condensate drains to EC units

##### **6.3.4. Building Licence**

Given the extent of works and particularly as it incorporates structural work, a Building Licence will be required.

##### **6.3.5. Program**

Estimated time to fully implement the works from approval to proceed is 28 working weeks.

#### **6.4. HVLS FANS**

##### **6.4.1. Systems Description**

High Volume Low Speed (HVLS) fans achieve their cooling effect in a similar fashion to evaporative cooling systems by air movement evaporating body sweat.

At peak summer ambient conditions, the internal conditions will be similar to the external conditions – perhaps marginally cooler given the thermal mass of the building.

# SHIRE OF NORTHAM

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### COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015

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#### ***NORTHAM RECREATION CENTRE – COOLING OPTIONS***

Whilst technically 6 off 3.6m dia fans will do the job, there is little difference in cost to install either 5.4 m dia or even 6.0m dia fans.

MSK-001 in Appendix 2.0 shows an overlay of the 4.8, 5.6 and 6.0m dia fans.

Costings have been based on the 5.4m dia fans.

#### **6.4.2. Associated Works**

<b>Discipline</b>	<b>Works</b>
Building	NIL
Structural	NIL
Electrical	Submains to MSSB
Hydraulic	NIL

#### **6.4.3. Building Licence**

Given the works are entirely internal and do not require any structural works, a Building License should not be required.

#### **6.4.4. Program**

Estimated time to fully implement the works from approval to proceed is 17 working weeks.

#### **6.5. EVAPORATIVE COOLING + HVLS FANS**

##### **6.5.1. Rationale**

One of the major shortcomings of the AC, EC and IEC options is the inability of these systems to throw the conditioned air further than approximately 50% of the way across the courts.

This will result in temperature gradients across the courts with the extremities being possibly 2 degrees warmer than areas closest to the points of air discharge.

Installing both the EC & HVLS Fans will ensure that the conditioned air is quickly dispersed across the whole court area and the high air velocities delivered will increase the cooling effect of the evaporative cooling process.

This greater cooling effect is demonstrated by the lower effective temperature (29.5 degrees versus 30.6 degrees for EC only).

##### **6.5.2. Systems Description**

For this option, all works described for the EC & HVLS options would be incorporated.

##### **6.5.3. Associated Works**

Associated works required are as follows:

<b>Discipline</b>	<b>Works</b>
Building	Flashed wall penetrations
Structural	EC platforms Screening Access
Electrical	Submains to units/MSSB
Hydraulic	Water supplies to the EC units Condensate drains to EC units

# SHIRE OF NORTHAM

## AGENDA

### COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015

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#### ***NORTHAM RECREATION CENTRE – COOLING OPTIONS***

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##### **6.5.4. Building Licence**

Given the extent of works and particularly as it incorporates structural work, a Building Licence will be required.

##### **6.5.5. Program**

Estimated time to fully implement the works from approval to proceed is 24 working weeks.

# SHIRE OF NORTHAM

## AGENDA

### COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015

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#### ***NORTHAM RECREATION CENTRE – COOLING OPTIONS***

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#### **7.0 DISCUSSION**

##### **7.1. AIRCONDITIONING**

This option has the highest capital and recurrent cost.

It has a problem in dispersing the conditioned air further than 50% of the way across the court resulting in temperature gradient across the courts.

Predicted Effective Temperature is 27.6°CDB (excluding the abovementioned gradient issue).

Whilst comfort levels are predictably the best, they come at very high costs.

##### **7.2. EVAPORATIVE COOLING**

This option has moderate capital and low recurrent costs.

As for the airconditioning option, it has a problem in dispersing the conditioned air further than 50% of the way across the court resulting in temperature gradients across the courts.

Predicted Effective Temperature is 30.6°CDB (excluding the abovementioned gradient issue).

Comfort levels reflect costs = marginal.

##### **7.3. INDIRECT EVAPORATIVE COOLING**

This option has high capital costs, moderate recurrent costs and very high replacement costs.

The high replacement costs are the result of the number of units, their cost and relatively short life span – similar to evaporative coolers at 10 years.

As for the airconditioning option, it has a problem in dispersing the conditioned air further than 50% of the way across the court resulting in temperature gradients across the courts.

Predicted Effective Temperature is 31.8°CDB (excluding the abovementioned gradient issue).

Indicated comfort levels are not as good as evaporative cooling due predominantly to the lower air movement from this system.

A poor thermal outcome for very high costs.

##### **7.4. HVLS FANS**

This option has the lowest capital, recurrent and replacement costs.

It is also the easiest and quickest to implement.

Predicted Effective Temperature is 32.5°CDB, however in reality is likely to be a little better than this using the larger 5.4m dia fans.

This is still relatively warm but does represent a noticeable reduction in temperature from ambient conditions.

Good value.

##### **7.5. EVAPORATIVE COOLING + HVLS FANS**

This option has moderate capital, recurrent and replacement costs.

Predicted Effective Temperature is 29.5°CDB, however in reality is likely to be a little better than this using the larger 5.4m dia fans.

# SHIRE OF NORTHAM

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### COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015

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#### ***NORTHAM RECREATION CENTRE – COOLING OPTIONS***

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This combination in reality will provide equal or better comfort conditions than the airconditioning option because the cooling effect of the evaporative cooling will be evenly spread across the courts and augmented by the high air movement from the fans.

This combination also enables the use of just the fans for a considerable time of the warmer months, particularly in the evenings.

Energy costs are therefore likely to be similar to EC only as the EC units will not run as much in the milder ambient conditions.

Moderately expensive but provides very good thermal comfort for reasonable recurrent and replacement costs.

# SHIRE OF NORTHAM

## AGENDA

### COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015

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#### *NORTHAM RECREATION CENTRE – COOLING OPTIONS*

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#### **8.0 RECOMMENDATION**

The Evaporative Cooling + HVLS Fans option is the recommended option for the reasons outlined above.

If funding is an issue, then HVLS Fans on their own is the next preferred option. Evaporative cooling could be added as a second stage with no abortive costs incurred.

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***NORTHAM RECREATION CENTRE – COOLING OPTIONS***

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**APPENDIX 1.0**  
**OPTIONS MATRIX**

# SHIRE OF NORTHAM

## AGENDA

### COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015

#### NORTHAM RECREATION CENTRE COMFORT COOLING OPTIONS

	Airconditioning	Evap Cooling	Indirect Evap Cooling	HVLS Fans	EC + HVLS
<b>Conditions</b>					
Ambient (°CDB/RH)	40.0/35%	40.0/35%	40.0/35%	40.0/35%	40.0/35%
Internal (°CDB/RH)	27.0/55%	31.0/75%	36.5/43%	40.0/35%	31.0/75%
Air Velocity (m/s)	0.5	1.5	1.0	3.0	3.0
Effective Temp (°CDB)	27.6	30.6	31.8	32.5	29.5
<b>Capital Costs</b>					
Mechanical	\$480,000.00	\$290,000.00	\$500,000.00	\$125,000.00	\$400,000.00
Electrical	\$5,000.00	\$5,000.00	\$5,000.00	\$3,000.00	\$5,000.00
Hydraulic	\$3,000.00	\$10,000.00	\$15,000.00	\$0.00	\$10,000.00
Building Works	\$175,000.00	\$50,000.00	\$50,000.00	\$0.00	\$50,000.00
<b>Total</b>	<b>\$663,000.00</b>	<b>\$355,000.00</b>	<b>\$570,000.00</b>	<b>\$128,000.00</b>	<b>\$465,000.00</b>
<b>Procurement Costs</b>					
Project Mgt	\$25,000.00	\$20,000.00	\$25,000.00	\$10,000.00	\$25,000.00
Architect	\$15,000.00	\$15,000.00	\$15,000.00	\$0.00	\$15,000.00
Mech Consultant	\$50,000.00	\$35,000.00	\$45,000.00	\$15,000.00	\$40,000.00
Structural Consult	\$20,000.00	\$20,000.00	\$20,000.00	\$0.00	\$20,000.00
<b>Total</b>	<b>\$110,000.00</b>	<b>\$90,000.00</b>	<b>\$105,000.00</b>	<b>\$25,000.00</b>	<b>\$100,000.00</b>
<b>Recurrent Costs</b>					
Energy	\$22,000.00	\$6,500.00	\$11,000.00	\$2,000.00	\$8,500.00
Maint	\$8,500.00	\$4,000.00	\$6,000.00	\$1,000.00	\$5,000.00
<b>Life Cycle</b>					
Years	20	10	10	20	
Replacement Cost	\$200,000.00	\$110,000.00	\$300,000.00	\$100,000.00	
<b>Power</b>					
Amps	150	40	60	10	50
Availability	Yes	Yes	Yes	Yes	Yes
<b>Building Works</b>					
Structural	AC unit platforms + access	EC unit platforms + access	IEC unit platforms + access	NIL	EC unit platforms + access
Screening	Yes	Yes	Yes	NIL	Yes
Hydraulic	Condensate drains	Condensate drains + Water Supply	Condensate drains + Water Supply	NIL	Condensate drains + Water Supply
Fabric Insulation	Required	Not Required	Not Required	NIL	Not Required
Other				NIL	
BL Required	Yes	Yes	Yes	No	Yes
<b>Program (wks)</b>					
Design & Document	8	8	8	2	8
Tender & Award	4	4	4	3	4
Execute	20	12	16	12	12
<b>Total</b>	<b>32</b>	<b>24</b>	<b>28</b>	<b>17</b>	<b>24</b>
<b>Cost Summary</b>					
Capital	\$773,000.00	\$445,000.00	\$675,000.00	\$153,000.00	\$565,000.00
Recurrent	\$30,500.00	\$10,500.00	\$17,000.00	\$3,000.00	\$14,500.00
Annual Sinking	\$10,000.00	\$11,000.00	\$30,000.00	\$5,000.00	\$16,000.00

**SHIRE OF NORTHAM**  
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**NORTHAM RECREATION CENTRE – COOLING OPTIONS**

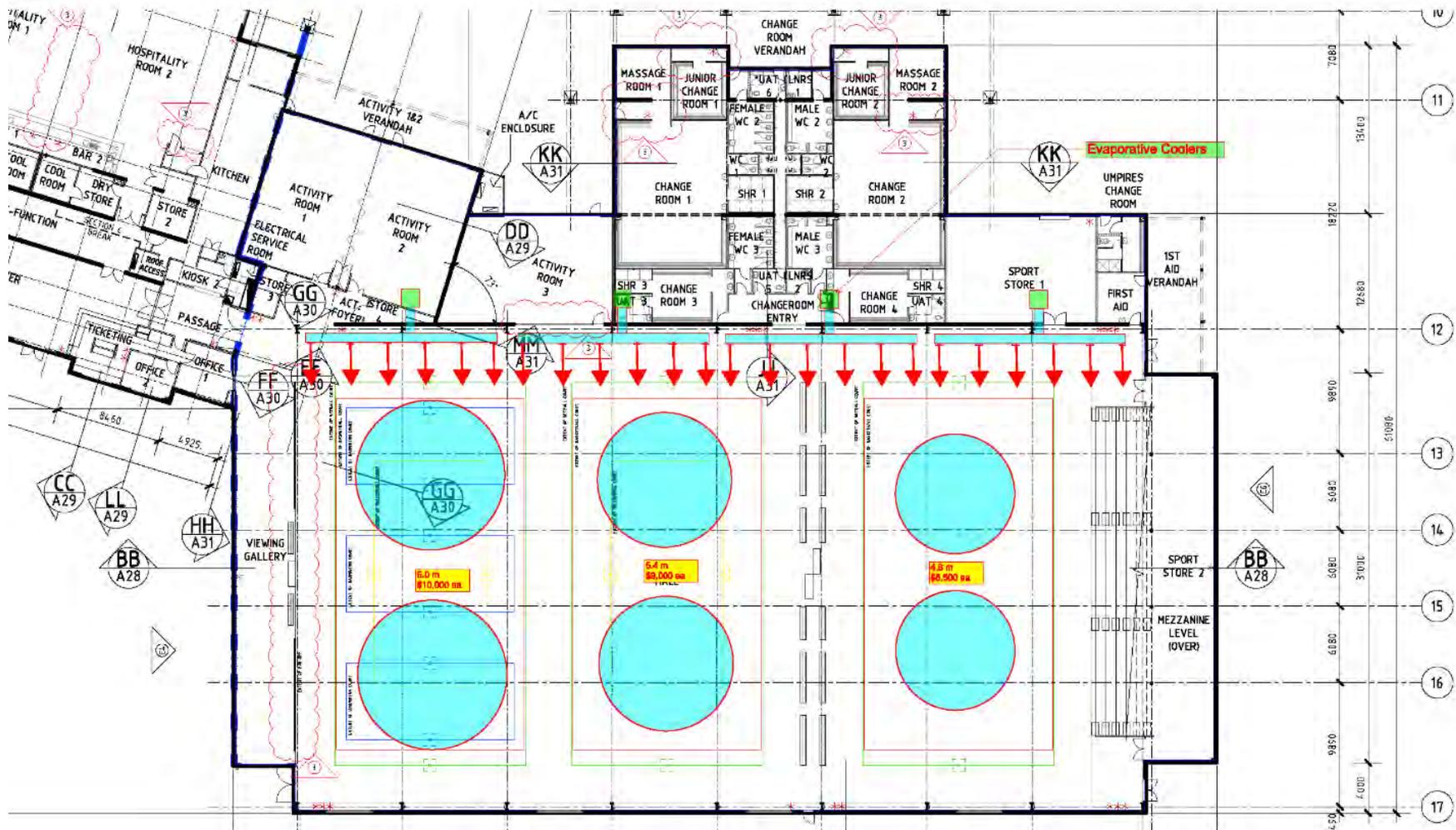
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**APPENDIX 2.0**  
**EC + HVLS FANS SKETCH**

# SHIRE OF NORTHAM

## AGENDA

### COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015



**SHIRE OF NORTHAM**  
**AGENDA**  
**COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015**

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**13.3. CORPORATE SERVICES**

**13.3.1 ACCOUNTS AND STATEMENTS OF ACCOUNTS**

Name of Applicant:	Internal Report
Name of Owner:	N/A
File Ref:	2.1.3.4
Officer:	Leasa Osborne / Cary Green
Officer Interest:	Nil
Policy	Nil
Voting	Simple Majority
Date:	1 December 2015

**PURPOSE**

The Accounts due and submitted to the Ordinary Council Meeting on 16 December 2015 are attached.

**RECOMMENDATION**

That Council endorse the payments for the period 1 November to 30 November 2015 as listed, which have been made in accordance with the delegated authority reference number (M/F/F/Regs LGA 1995 S5.42).

<b>Municipal Bank Vouchers 34344 to 34379</b>	<b>\$ 102,580.48</b>
<b>Trust Bank Vouchers 1930 to 1936</b>	<b>\$ 3,886.35</b>
<b>Municipal Bank Electronic Fund Transfer EFT21345 to EFT21496 and EFT21503 to EFT21503 and EFT21506 to 21628</b>	<b>\$ 848,695.41</b>
<b>Trust Bank Electronic Fund Transfer EFT21497 to EFT21502 and EFT21504 to EFT21505</b>	<b>\$ 2,980.00</b>
<b>Direct Debit Fund Transfer 9198.1 and 9202.1 to 9202.16 and 9228.1 and 9258.1 to 9258.16 and 9268.1</b>	<b>\$ 63,532.11</b>
<b>Municipal Bank Electronic Fund Transfer Payroll 05/11/2015</b>	<b>\$ 195,439.12</b>
<b>Municipal Bank Electronic Fund Transfer Payroll 19/11/2015</b>	<b>\$ 188,272.36</b>
<b>Municipal Bank Electronic Fund Transfer Payroll 23/11/2015</b>	<b>\$ 1,773.43</b>
<b>TOTAL</b>	<b>\$1,407,159.26</b>

**SHIRE OF NORTHAM**  
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<b>LIST OF ACCOUNTS DUE AND SUBMITTED TO COUNCIL NOVEMBER 2015</b>				
<b>CHQ/EFT</b>	<b>DATE</b>	<b>NAME</b>	<b>DESCRIPTION</b>	<b>AMOUNT \$</b>
1930	16/11/2015	BUILDER'S REGISTRATION BOARD OF WA	MONTHLY BUILDING FEES COLLECTED FOR BSL FOR THE MONTH OF OCTOBER 2015.	- 1,641.81
1931	16/11/2015	BUILDING & CONSTRUCTION INDUSTRY TRAINING FUND	MONTHLY BUILDING FEES COLLECTED FOR BCITF FOR THE MONTH OF OCTOBER 2015.	- 1,401.54
1932	16/11/2015	CABLE LAYERS AUSTRALIA	REFUND OF STANDPIPE KEY 0010711430 RETURNED 02/11/2015.	- 50.00
1933	16/11/2015	NORTHAM HARDWARE	ITEMS FOR KILLARA CHRISTMAS RAFFLE.	- 100.00
1934	16/11/2015	SHIRE OF NORTHAM	MONTHLY BUILDING COMMISSION FEE FOR COLLECTION OF BSL & BCITF FOR OCTOBER 2015.	- 113.00
1935	16/11/2015	STEVEN MARK I'ANSON	REFUND OF CANDIDATE DEPOSIT.	- 80.00
1936	25/11/2015	WEST NORTHAM PRIMARY SCHOOL	REFUND OF BOND ON TOWN HALL.	- 500.00
			<b>TOTAL TRUST CHEQUES</b>	<b>- 3,886.35</b>
EFT21345	09/11/2015	AUSTRALIAN TAXATION OFFICE - PAYG	PAYG PAYRUN 21/10/2015 TO 03/11/2015.	- 53,921.00
EFT21346	09/11/2015	CHILD SUPPORT AGENCY	PAYROLL DEDUCTIONS.	- 463.72
EFT21347	09/11/2015	CHRIS DAVIDSON	COUNCILLOR MONTHLY PAYMENTS OCTOBER 2015.	- 955.30
EFT21348	09/11/2015	CHRISTOPHER RICHARD ANTONIO	COUNCILLOR MONTHLY PAYMENTS OCTOBER 2015.	- 872.42
EFT21349	09/11/2015	CROSS COUNTRY TOURS PTY LTD	TOUR CANCELLED AS VISITORS CENTRE COULDN'T PROVIDE IT.	- 100.00
EFT21350	09/11/2015	DENIS GRAHAM BERESFORD	COUNCILLOR MONTHLY PAYMENTS OCTOBER 2015.	- 1,726.55
EFT21351	09/11/2015	DESMOND ARNOLD HUGHES	COUNCILLOR MONTHLY PAYMENTS OCTOBER 2015.	- 1,726.55
EFT21352	09/11/2015	JOHN PROUD	COUNCILLOR MONTHLY PAYMENTS OCTOBER 2015.	- 835.42
EFT21353	09/11/2015	JULIE ELLEN WILLIAMS	COUNCILLOR MONTHLY PAYMENTS OCTOBER 2015.	- 1,726.55
EFT21354	09/11/2015	KATHLEEN DAWN SAUNDERS	COUNCILLOR MONTHLY PAYMENTS OCTOBER 2015.	- 1,882.73
EFT21355	09/11/2015	LLEWELLYN A W	COUNCILLOR MONTHLY PAYMENTS OCTOBER 2015.	- 907.52
EFT21356	09/11/2015	MAXXIA PTY LTD	PAYROLL DEDUCTIONS.	- 514.32
EFT21357	09/11/2015	ROBERT WAYNE TINETTI	COUNCILLOR MONTHLY PAYMENTS OCTOBER 2015.	- 1,726.55
EFT21358	09/11/2015	STEVEN BRUCE POLLARD	COUNCILLOR MONTHLY PAYMENTS OCTOBER 2015.	- 2,779.55

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EFT21359	09/11/2015	TERRY MATTHEW LITTLE	COUNCILLOR MONTHLY PAYMENTS OCTOBER 2015.	-	2,969.32
EFT21360	09/11/2015	TIA COMERY	REFUND OF HALL BOND.	-	500.00
EFT21361	09/11/2015	ULO RUMJANTSEV	COUNCILLOR PAYMENTS FOR OCTOBER 2015.	-	2,129.11
EFT21362	09/11/2015	POLLARD FAMILY SUPERANNUATION FUND T/A POLLARD ENTERPRISES PTY LTD	SUPERANNUATION MONTHLY CONTRIBUTION OCTOBER 2015.	-	2,500.00
EFT21363	13/11/2015	ABBOTT & CO PRINTERS	PRINTING OF DOG REGISTRATIONS ON A4 PERFORATED PAPER.	-	589.60
EFT21364	13/11/2015	AG IMPLEMENTS NORTHAM PTY LTD	BLADES FOR DEPOT MOWERS.	-	785.06
EFT21365	13/11/2015	AJ & SG FOWLER	GRAVEL FOR GUMLEY RD GRAVEL SHEETING.	-	462.00
EFT21366	13/11/2015	CANCELLED PAYMENT			
EFT21367	13/11/2015	ALLPUMPS & WATERBORING	LABOUR & ELECTRICAL WORK TO INSTALL AERATORS.	-	15,647.50
EFT21368	13/11/2015	ANGI MCCLUSKEY	PETTY CASH REIMBURSEMENT FOR THE LIBRARY.	-	220.33
EFT21369	13/11/2015	ANL LIGHTING AUSTRALIA PTY LTD	FLOOD LIGHTS FOR THE NORTHAM TOWN HALL.	-	296.95
EFT21370	13/11/2015	ARTHA PUBLISHING PTY LTD	AUSTRALIAN TOUR OPERATORS DIRECTORY FOR 2016.	-	345.00
EFT21371	13/11/2015	ASLAB PTY LTD	SUBGRADE TESTING JUBILEE OVAL PLAYGROUND.	-	1,006.58
EFT21372	13/11/2015	AUSTRALASIAN PERFORMING RIGHT ASSOCIATION LTD APRA	LICENCE FEE FOR COPYRIGHT MUSIC FOR THE PERIOD OF 01/10/2015 TO 31/12/2015.	-	458.67
EFT21373	13/11/2015	AUSTRALIAN CIVILS PTY LTD	CLAIM #1 SHIRE OF NORTHAM FOOTPATHS BORONIA AVENUE WUNDOWIE.	-	50,887.21
EFT21374	13/11/2015	AUTOPRO NORTHAM	TOOLS FOR EMPLOYEE OF THE QUARTER.	-	200.00
EFT21375	13/11/2015	AV-SEC SECURITY SERVICES	SECURITY MONITORING AT MULTIPLE SHIRE PROPERTIES.	-	1,399.60
EFT21376	13/11/2015	AVON A PARTY	PA SYSTEM FOR PINK RIBBON WALK.	-	150.00
EFT21377	13/11/2015	AVON DEMOLITION & EARTHMOVING	MANAGEMENT OF INKPEN ROAD WASTE MANAGEMENT FACILITY FOR THE PERIOD 12/10/2015 TO 26/10/2015.	-	1,568.00
EFT21378	13/11/2015	AVON FIBRE TECH	SUPPLY X4 PONTOONS FOR FIREWORKS DISPLAY.	-	550.00
EFT21379	13/11/2015	AVON PAPER SHRED	SHREDDING OF CONFIDENTIAL OFFICE PAPER.	-	55.00
EFT21380	13/11/2015	AVON TOURISM INCORPORATED	SPONSORSHIP FOR 2015/2016.	-	6,400.00
EFT21381	13/11/2015	AVON VALLEY ARTS SOCIETY (INC)	STOCK PURCHASES FOR NORTHAM VISITORS CENTRE.	-	99.00

**SHIRE OF NORTHAM**  
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EFT21382	13/11/2015	AVON VALLEY MOWER & CHAINSAW CENTRE	HUSQVARNA BARS FOR RIDE ON REEL MOWER.	-	65.00
EFT21383	13/11/2015	AVON VALLEY NISSAN	NEW MITSUBISHI OUTLANDER N11131 FOR EXEC MANAGER COMMUNITY SERVICES.	-	19,929.99
EFT21384	13/11/2015	AVON VALLEY STOCK FEED & GARDEN SUPPLIES	FOOD FOR THE UPKEEP OF THE SWANS.	-	363.80
EFT21385	13/11/2015	AVON WASTE	AVON WASTE COLLECTION FOR THE FORTNIGHT ENDING 16/10/2015.	-	33,707.20
EFT21386	13/11/2015	AVW ELECTRICAL	INSTALLATION OF PHONE LINE & LIGHTS AT GRASS VALLEY FIRE SHED.	-	5,231.49
EFT21387	13/11/2015	BARCODE DIRECT	RECEIPT PRINTER FOR NORTHAM LIBRARY.	-	2,464.00
EFT21388	13/11/2015	CANCELLED PAYMENT			
EFT21389	13/11/2015	BLACKWELL PLUMBING PTY LTD	ASSORTED WORK DONE AT MULTIPLE PUBLIC TOILETS.	-	6,986.15
EFT21390	13/11/2015	BOB COOPER OUTBACK SURVIVAL PTY LTD	STOCK PURCHASES FOR NORTHAM VISITOR CENTRE.	-	333.72
EFT21391	13/11/2015	BOEKEMAN MACHINERY	ASSORTED MECHANICAL ITEMS FOR ENGINEERING SERVICES.	-	196.10
EFT21392	13/11/2015	BOOTH PRINT	PRINTING OF COLOURED AVON LINK FLYERS.	-	172.70
EFT21393	13/11/2015	BRIDGING WATERS (BW IMPORTS)	STOCK PURCHASES FOR NORTHAM VISITORS CENTRE.	-	421.70
EFT21394	13/11/2015	CENTRAL MOBILE MECHANICAL REPAIRS	REPAIRS TO MULTIPLE SHIRE VEHICLES.	-	13,343.65
EFT21395	13/11/2015	CHERYL FAY GREENOUGH	REIMBURSEMENT FOR FOOD FOR THE MELBOURNE CUP LUNCHEON.	-	90.00
EFT21396	13/11/2015	CJD EQUIPMENT PTY LTD	ASSORTED MECHANICAL ITEMS FOR ENGINEERING SERVICES.	-	591.46
EFT21397	13/11/2015	CLACKLINE FENCING CONTRACTORS	SECURITY FENCE REPAIRS AT MULTIPLE SHIRE PROPERTIES.	-	600.00
EFT21398	13/11/2015	COCA-COLA AMATIL (AUST) PTY LTD	DRINKS FOR THE NORTHAM SWIMMING POOL.	-	2,179.28
EFT21399	13/11/2015	COLIN DUNCAN GRANT	CLEANING NORTHAM DISTRICT SES FOR OCTOBER.	-	110.00
EFT21400	13/11/2015	COUNTRY COPIERS NORTHAM	SERVICE PHOTOCOPIERS AT ADMIN BUILDING, KILLARA & NORTHAM REC CENTRE.	-	7,087.85
EFT21401	13/11/2015	COURIER AUSTRALIA	DELIVERY CHARGES FOR OCTOBER 2015.	-	364.43
EFT21402	13/11/2015	COVS PARTS PTY LTD	ADBLUE DIESEL ADDITIVE 20L FOR KILLARA2.	-	119.02
EFT21403	13/11/2015	CUTTING EDGES EQUIPMENT PARTS	ASSORTED MECHANICAL ITEMS FOR ENGINEERING SERVICES.	-	243.24
EFT21404	13/11/2015	DAIBRO PTY LTD WHEATBELT CARAVAN & RV CENTRE	INSTALL & SUPPLY JOCKEY SWIVEL WHEEL ON N5461.	-	528.00

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EFT21405	13/11/2015	DEPARTMENT OF FIRE AND EMERGENCY SERVICE(DFES) OF WESTERN AUSTRALIA	RATES REFUND.	- 800.00
EFT21406	13/11/2015	DUNCAN GROUP INTERNATIONAL - CLACKLINE VALLEY OLIVES	STOCK PURCHASES FOR NORTHAM VISITORS CENTRE.	- 54.00
EFT21407	13/11/2015	DUNNING INVESTMENTS PTY LTD	FUEL ACCOUNT FOR THE MONTH OF OCTOBER 2015.	- 27,345.29
EFT21408	13/11/2015	EP PROPERTY CARE SERVICES	MONTHLY GARDEN MAINTENANCE TO NORTHAM SWIMMING POOL.	- 263.40
EFT21409	13/11/2015	ESPLANADE HOTEL FREMANTLE	ACCOMMODATION & PARKING FOR LGMA STATE CONFERENCE.	- 518.00
EFT21410	13/11/2015	FIRE AND SAFETY WA	PPE EQUIPMENT FOR FIRE BRIGADES.	- 938.35
EFT21411	13/11/2015	FIRE MITIGATION SERVICES	PROVIDE A REPORT FOR SELECTED RESERVES & FREEHOLD LAND & CONDUCT FUEL LOAD ASSESSMENTS.	- 7,500.00
EFT21412	13/11/2015	FRED HOPKINS WA	PARTS FOR CELLI MOWER.	- 952.60
EFT21413	13/11/2015	FRONTLINE FIRE & RESCUE EQUIPMENT	PPE EQUIPMENT FOR FIRE BRIGADES.	- 603.23
EFT21414	13/11/2015	GEOFF NINNES FONG & PARTNERS PTY LTD	ASSESSMENT REPORT & FUTURE PROVISION FOR POOLS.	- 10,780.00
EFT21415	13/11/2015	GEORDAS THARIYATH	REIMBURSEMENT FOR EQUIPMENT PURCHASED.	- 73.50
EFT21416	13/11/2015	GLENN STUART BEVERIDGE	ASSORTED MAINTENANCE WORK DONE AT MULTIPLE SHIRE PROPERTIES.	- 4,075.50
EFT21417	13/11/2015	HAKO AUSTRALIA PTY LTD	PARTS FOOTPATH SWEEPER.	- 108.24
EFT21418	13/11/2015	HART SPORT	EQUIPMENT FOR NORTHAM REC CENTRE.	- 288.50
EFT21419	13/11/2015	HAYLEY AYERS-FINDLAY	PETTY CASH REIMBURSEMENT FOR THE LIBRARY.	- 27.92
EFT21420	13/11/2015	HAYS SPECIALIST RECRUITMENT (AUSTRALIA) PTY LIMITED	RETAINER STAGE 1 & STAGE 2 FOR EXECUTIVE MANAGER CORPORATE SERVICES.	- 16,500.00
EFT21421	13/11/2015	HEMA MAPS PTY LTD	STOCK PURCHASES FOR NORTHAM VISITORS CENTRE.	- 100.30
EFT21422	13/11/2015	HOLCIM AUSTRALIA PTY LTD	CONCRETE FOR MULTIPLE LOCATIONS IN THE SHIRE OF NORTHAM.	- 902.00
EFT21423	13/11/2015	HOST AUTO REPAIRS	REPAIRS TO MULTIPLE SHIRE VEHICLES.	- 10,213.75
EFT21424	13/11/2015	INLAND PLUMBING & TOTAL RETICULATION	SOLENOIDS FOR MULTIPLE SHIRE PROPERTIES.	- 1,024.65
EFT21425	13/11/2015	INSTITUTE OF PUBLIC WORKS ENGINEERING AUSTRALIA - WA DIVISION	PUBLIC WORKS TRAINING WEEK ONE DAY REGISTRATION.	- 450.00
EFT21426	13/11/2015	INVISION SIGNS AND DESIGNS	STOCK PURCHASES FOR NORTHAM VISITORS CENTRE.	- 1,406.90

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EFT21427	13/11/2015	JAYCAR PTY LTD	SECURITY CAMERA'S FOR CLACKLINE & BAKERS HILL.	-	1,258.00
EFT21428	13/11/2015	JEF SALES & SERVICE	REPAIR STIHL CHAINSAW.	-	235.00
EFT21429	13/11/2015	KATHERINE STEWART	STOCK PURCHASES FOR NORTHAM VISITORS CENTRE.	-	20.00
EFT21430	13/11/2015	KLEENWEST DISTRIBUTORS	ASSORTED CLEANING PRODUCTS FOR KILLARA.	-	1,045.01
EFT21431	13/11/2015	LGIS - LOCAL GOVERNMENT INSURANCE SERVICES WA	ACTUAL WAGES DECLARATION ADJUSTMENT FOR 2014-2015.	-	5,044.05
EFT21432	13/11/2015	LGIS INSURANCE BROKING	MOTOR VEHICLE INSURANCE FOR THE PERIOD OF 30/06/2014 TO 30/06/2015.	-	1,856.86
EFT21433	13/11/2015	LOUI'S PLANT HIRE	CARTAGE OF ROCK TO SHIRE YARD & TO GEORGE NUICH PARK.	-	3,300.00
EFT21434	13/11/2015	LRA CIVIL PTY LTD	PROGRESS CLAIM #5 FOR WUNDOWIE DRAINAGE WORKS.	-	17,072.95
EFT21435	13/11/2015	MAYBERRY HAMMOND & CO	PROFESSIONAL LEGAL SERVICES.	-	1,274.40
EFT21436	13/11/2015	MEGA-FIX	MAINTENANCE PARTS FOR FERRIS MOWER.	-	11.25
EFT21437	13/11/2015	METRO BEVERAGE CO PTY LTD	REFRESHMENTS FOR NORTHAM REC CENTRE.	-	380.20
EFT21438	13/11/2015	MIDALIA STEEL	GALVANISED TUBE WITH CAP FOR ENGINEERING SERVICES.	-	55.34
EFT21439	13/11/2015	MOUNT HELENA LITTLE ATHLETICS CLUB	KIDSPORT FUNDING.	-	372.00
EFT21440	13/11/2015	NETSIGHT	MYOSH MONTHLY SUBSCRIPTION NOVEMBER 2015.	-	663.30
EFT21441	13/11/2015	NORTHAM & DISTRICTS GLASS SERVICE	WINDOW REPAIRS AT NORTHAM REC CENTRE & OLD GIRLS SCHOOL.	-	2,105.40
EFT21442	13/11/2015	NORTHAM AMATEUR BASKETBALL ASSOCIATION	KIDSPORT FUNDING.	-	5,594.00
EFT21443	13/11/2015	NORTHAM CENTRAL NEWSAGENCY	NEWSPAPERS FOR NORTHAM LIBRARY & KILLARA FOR OCTOBER 2015.	-	126.05
EFT21444	13/11/2015	NORTHAM HOLDEN	105,000KM SERVICE TO HOLDEN COLORADO N.4021.	-	307.41
EFT21445	13/11/2015	NORTHAM JUNIOR CRICKET ASSOCIATION	KIDSPORTS FUNDING.	-	720.00
EFT21446	13/11/2015	NORTHAM LIQUOR BARONS	ASSORTED ITEMS FOR SHIRE FUNCTIONS.	-	472.80
EFT21447	13/11/2015	NORTHAM MITRE 10 SOLUTIONS	MAINTENANCE PARTS FOR MULTIPLE SHIRE PROPERTIES.	-	638.04
EFT21448	13/11/2015	NORTHAM NATIONALS	STOCK PURCHASES FOR NORTHAM VISITORS CENTRE.	-	45.00
EFT21449	13/11/2015	NORTHAM NURSERY	ASSORTED PLANTS FOR ENGINEERING SERVICES.	-	1,014.00
EFT21450	13/11/2015	NORTHAM OVER 60'S GROUP INC	COMMUNITY CLUB DONATION FOR 2015/2016.	-	750.00

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EFT21451	13/11/2015	NORTHAM PRIMARY SCHOOL P&C	COMMUNITY GRANT FUNDING.	-	1,875.00
EFT21452	13/11/2015	NORTHAM TYREPOWER	REPLACE X2 FRONT TYRES ON QUAD BIKE PN020 26 X 12.00 R12.	-	350.00
EFT21453	13/11/2015	NORTHAM VETERINARY CENTRE	EUTHANASIA OF FERAL CAT FROM KURINGAL VILLAGE WUNDOWIE.	-	116.36
EFT21454	13/11/2015	OCTAGON-BKG LIFTS	ROUTINE MAINTENANCE TO ACCESS PLATFORM LIFT AT NORTHAM LIBRARY.	-	497.95
EFT21455	13/11/2015	OFFICEWORKS SUPERSTORES PTY LTD	STATIONARY ITEMS FOR NORTHAM LIBRARY & REC CENTRE.	-	972.95
EFT21456	13/11/2015	OXTER SERVICES	ASSORTED CLEANING PRODUCTS FOR MULTIPLE SHIRE PROPERTIES & GRASS VALLEY & BAKERS HILL MAINTENANCE FOR THE PERIOD OF 5/10/2015 TO 30/10/2015.	-	2,076.90
EFT21457	13/11/2015	PERTH SAFETY PRODUCTS PTY LTD	ASSORTED TRAFFIC SIGNS FOR ENGINEERING SERVICES.	-	3,888.50
EFT21458	13/11/2015	PHILIP JOHN ROBINSON	MAINTENANCE REPAIRS TO MULTIPLE SHIRE PROPERTIES.	-	1,196.80
EFT21459	13/11/2015	PHOENIX PAINTS PTY LTD	20L DRUMS OF BLACK SPRAY MARKING PAINT.	-	261.93
EFT21460	13/11/2015	PORTER CONSULTING ENGINEERS	REVIEW OF MORBY COTTAGE STRUCTURE PLAN.	-	1,980.00
EFT21461	13/11/2015	PORTNER PRESS PTY LTD	EMPLOYMENT LAW UPDATE 8 2015.	-	97.00
EFT21462	13/11/2015	PROMAPP SOLUTIONS LIMITED	PROMAPP PROCESS MANAGER SOFTWARE ACCESS FOR 50 LICENSES.	-	1,122.00
EFT21463	13/11/2015	QUIN'S GOURMET BUTCHERS	ASSORTED MEAT FOR KILLARA.	-	260.10
EFT21464	13/11/2015	ROADS2000	EARTHWORKS AT VARIOUS LOCATIONS.	-	26,611.20
EFT21465	13/11/2015	ROADSWEST ENGINEERING GROUP WA PTY LTD	PROVISION OF 85% DESIGN REVIEW REPORT FOR BRIDGE 638 REFURBISHMENT.	-	5,340.50
EFT21466	13/11/2015	ROWLANDS TV & VIDEO REPAIRS	REPAIRS TO SHORT CIRCUIT IN CORDLESS MICROPHONE.	-	50.60
EFT21467	13/11/2015	ROYAL LIFE SAVING SOCIETY WA	POOL LIFEGUARD REQUALIFICATION FOR POOL STAFF.	-	260.00
EFT21468	13/11/2015	SETH WILLIAM TUCKER T/A TUCKERBUILT	POROUS PAVING AROUND STREET TREE BASES.	-	440.00
EFT21469	13/11/2015	SIGMA CHEMICALS	RUBBER PAINT - WHITE 4 LITRES & EMERKIT - 2 PACK EPOXY.	-	385.00
EFT21470	13/11/2015	SIGNAL ONE PTY LTD	X1 WOLFCOM VISION BODYCAM LE EDITION FOR RANGER SERVICES.	-	488.95
EFT21471	13/11/2015	SLAV'S CLEANING SERVICE	CLEANING OF RECREATION CENTRE FOR THE PERIOD 7/10/2015 TO 06/11/2015.	-	3,325.41
EFT21472	13/11/2015	SPECIALE SMASH REPAIRS	REPAIRED FRONT BUMPER LOWER GRILLE ON KILLARA3.	-	338.65

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EFT21473	13/11/2015	SPECIALISED TREE SERVICE	TREE PRUNING AT ASSORTED LOCATIONS IN THE SHIRE OF NORTHAM AS PER WESTERN POWER REQUIREMENTS.	- 6,650.00
EFT21474	13/11/2015	SPORTSPOWER NORTHAM	SPORTS EQUIPMENT FOR NORTHAM REC CENTRE.	- 647.17
EFT21475	13/11/2015	ST JOHN AMBULANCE AUSTRALIA	FIRST AID KIT SERVICING IN MULTIPLE SHIRE VEHICLES.	- 149.21
EFT21476	13/11/2015	ST JOSEPH'S SCHOOL	CONTRIBUTION TOWARDS INDIGENOUS SCHOLARSHIP SCHEME & CONTRIBUTION TOWARDS PRESENTATION NIGHT 2015.	- 700.00
EFT21477	13/11/2015	STAPLES AUSTRALIA PTY LIMITED	STATIONERY ORDER FOR LIBRARY, DEPOT & MAIN OFFICE.	- 877.34
EFT21478	13/11/2015	STATE LIBRARY OF WESTERN AUSTRALIA	WUNDOWIE LIBRARY LOST & DAMAGED ITEMS.	- 55.00
EFT21479	13/11/2015	STEWART & HEATON CLOTHING CO.PTY LTD	ASSORTED PPE FOR BUSH FIRE OFFICERS.	- 2,090.97
EFT21480	13/11/2015	THE FARM SHOP	REPAIR HAND RAILS ALONG RIVERBANK VISITORS CENTRE SIDE - VANDALISM.	- 42.90
EFT21481	13/11/2015	THE WORKWEAR GROUP	UNIFORMS FOR MULTIPLE SHIRE EMPLOYEES.	- 586.02
EFT21482	13/11/2015	THEA COMMINS	STOCK PURCHASES FOR NORTHAM VISITOR CENTRE.	- 330.55
EFT21483	13/11/2015	TIDY TOWNS TOODYAY COLLABORATIVE COMMUNITY CLEAN	TOODYAY/NORTHAM ROAD COMMUNITY CLEAN UP.	- 1,320.00
EFT21484	13/11/2015	TRISLEY'S HYDRAULIC SERVICES PTY LTD	SERVICE TO POOL FILTERATION SYSTEM AT WUNDOWIE.	- 1,557.60
EFT21485	13/11/2015	TYRECYCLE PTY LTD	COLLECTION OF TYRES FROM THE OLD QUARRY REFUSE SITE.	- 2,575.45
EFT21486	13/11/2015	WA COUNTRY HEALTH SERVICE	REFUND OF OVERPAYMENT.	- 136.00
EFT21487	13/11/2015	WALLYS BITUMEN PAVING	ASPHALT WORKS AT NORTHAM RAILWAY MUSEUM.	- 220.00
EFT21488	13/11/2015	WATTLEUP TRACTORS	PARTS FOR HOWARD PROCUT ROLLAMOWER.	- 799.65
EFT21489	13/11/2015	WBS GROUP PTY LTD	REFUND OF ADVERTISING FEE.	- 132.00
EFT21490	13/11/2015	WESTWIDE AUTO ELECTRICS AND AIR CONDITIONING	REPAIRS TO MULTIPLE SHIRE VEHICLES.	- 4,942.80
EFT21491	13/11/2015	WHEATBELT PARTY AND EVENT HIRE	ROOM DECORATIONS FOR SENIORS WEEK CONCERT.	- 895.40
EFT21492	13/11/2015	WHEATBELT SAFETYWEAR	PPE EQUIPMENT FOR ENGINEERING SERVICES.	- 630.00
EFT21493	13/11/2015	WORMALD FIRE (WA)	MONTHLY ROUTINE INSPECTION & MAINTENANCE OF THE NORTHAM TOWN HALL.	- 153.97

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EFT21494	13/11/2015	WRIGHT EXPRESS AUSTRALIA PTY LTD (PUMA ENERGY)	FUEL FOR THE WUNDOWIE DEPOT & BAKERS HILL BFB FOR OCTOBER 2015.	-	400.29
EFT21495	13/11/2015	WUNDOWIE SPRINGS PTY LTD WUNDOWIE ONE STOP	SAUSAGES & GROCERIES FOR THE OPENING OF THE WUNDOWIE SKATE PARK.	-	463.41
EFT21496	13/11/2015	YELLOWMETAL	ASSORTED MAINTENANCE MATERIALS.	-	385.00
			<b>SUB TOTAL EFT MUNICIPAL</b>	-	<b>462,449.61</b>
EFT21497	16/11/2015	CHRIS DAVIDSON	REFUND OF CANDIDATE DEPOSIT.	-	80.00
EFT21498	16/11/2015	CHRISTOPHER RICHARD ANTONIO	REFUND OF CANDIDATE DEPOSIT.	-	80.00
EFT21499	16/11/2015	JANETTE KATHERINE SEAGRIM	REFUND OF CANDIDATE'S DEPOSIT FROM 2013 ELECTION.	-	80.00
EFT21500	16/11/2015	JOHN PROUD	REFUND OF CANDIDATE DEPOSIT.	-	80.00
EFT21501	16/11/2015	JULIE ELLEN WILLIAMS	REFUND OF COUNCILLOR CANDIDATE DEPOSIT.	-	80.00
EFT21502	16/11/2015	ROBERT WAYNE TINETTI	REFUND OF COUNCILLOR CANDIDATE DEPOSIT.	-	80.00
			<b>SUB TOTAL EFT TRUST</b>	-	<b>480.00</b>
EFT21503	16/11/2015	BEAUREPAIRES	NEW TYRES & TYRE REPAIRS FOR MULTIPLE SHIRE VEHICLES.	-	2,644.93
			<b>SUB TOTAL EFT MUNICIPAL</b>	-	<b>2,644.93</b>
EFT21504	25/11/2015	AVON YOUTH COMMUNITY AND FAMILY SERVICES	REFUND OF BOND ON HOSPITALITY ROOM BOOKING.	-	2,000.00
EFT21505	25/11/2015	SKILL HIRE WA PTY LTD	REFUND OF BOND ON LESSER HALL BOOKING.	-	500.00
			<b>SUB TOTAL EFT TRUST</b>	-	<b>2,500.00</b>
EFT21506	25/11/2015	JR & A HERSEY PTY LTD	PPE EQUIPMENT FOR ENGINEERING SERVICES.	-	1,171.17
EFT21507	25/11/2015	ABBOTT & CO PRINTERS	A4 DOG REGISTRATION PAPERS FOR RANGER SERVICES.	-	589.60
EFT21508	25/11/2015	ACES ANIMAL CARE EQUIPMENT SERVICES PTY LTD	SPRAY SHIELD CITRONELLA SPRAY FOR RANGER SERVICES.	-	133.40
EFT21509	25/11/2015	AG IMPLEMENTS NORTHAM PTY LTD	WHIPPER SNIPPER CORD & UNIVERSAL ALLOY HEADS.	-	393.10
EFT21510	25/11/2015	AJ & SG FOWLER	GRAVEL TO LEAVER RD & GRAVEL FROM JENNAPULLIN PIT FOR ENGINEERING SERVICES.	-	12,316.27
EFT21511	25/11/2015	ALAN'S AUTO ELECTRICS	REPAIR TRAILER LIGHTS ON N10922.	-	57.50
EFT21512	25/11/2015	ALIA LTD	INSTITUTIONAL MEMBERSHIP RENEWAL FOR ANGI MCCLUSKEY.	-	478.00

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EFT21513	25/11/2015	ALLMARK & ASSOCIATES PTY LTD	JARRAH DESK NAME PLATE FOR COUNCILLORS & EXECUTIVE MANAGER CORPORATE SERVICE.	-	467.50
EFT21514	25/11/2015	ANDY'S PLUMBING SERVICE	MAINTENANCE AT MULTIPLE SHIRE PROPERTIES.	-	3,031.60
EFT21515	25/11/2015	ANGI MCCLUSKEY	PETTY CASH REIMBURSEMENTS.	-	65.10
EFT21516	25/11/2015	APPLIED INDUSTRIAL TECHNOLOGIES T/A NORTHAM BEARINGS	RUBBER MATTING 9.5 MM X 1200MM FOR FERRIS LAWN MOWERS N.4060 & N.4019.	-	48.40
EFT21517	25/11/2015	ARCUS AUSTRALIA PTY LTD	ARCUS HT4 DRINKING TROUGH, ARCUS RUBBER BUBBLERS, ARCUS WATER COOLER FOR THE REC CENTRE.	-	5,808.00
EFT21518	25/11/2015	AUSTRALIA POST	AUSTRALIA POST FOR ADMIN, LIBRARY & KILLARA FOR OCTOBER 2015.	-	3,691.20
EFT21519	25/11/2015	AUSTRALIAN CIVILS PTY LTD	CLAIM FOR SHIRE OF NORTHAM FOOTPATHS AT WOOD DRIVE, PERINA PLACE, QUELQUELLING ROAD NORTHAM & BORONIA AVENUE WUNDOWIE.	-	80,082.75
EFT21520	25/11/2015	AUSTRALIAN TAXATION OFFICE - PAYG	PAYG PAYRUN 04/11/2015 TO 17/11/2015 & PAYG PAYRUN 23/11/2015.	-	51,377.98
EFT21521	25/11/2015	AUTOPRO NORTHAM	EQUIPMENT FOR BAKERS HILL BRIGADES.	-	188.50
EFT21522	25/11/2015	AVON DEMOLITION & EARTHMOVING	MANAGEMENT OF INKPEN ROAD WASTE MANAGEMENT FACILITY FOR THE PERIOD 27/10/2015 TO 08/11/2015.	-	1,568.00
EFT21523	25/11/2015	AVON TELECOMS PTY LTD	SECURITY MONITORING FOR MULTIPLE SHIRE PROPERTIES.	-	335.05
EFT21524	25/11/2015	AVON VALLEY MOWER & CHAINSAW CENTRE	ASSORTED POOL PRODUCTS.	-	1,427.91
EFT21525	25/11/2015	AVON VALLEY STOCK FEED & GARDEN SUPPLIES	MEGA MIX FERTILIZER FOR WUNDOWIE TOWNSITE MAINTENANCE & FOOD FOR THE UPKEEP OF SWANS.	-	254.45
EFT21526	25/11/2015	AVON YOUTH COMMUNITY AND FAMILY SERVICES	COMMUNITY GRANT FUNDING.	-	10,564.00
EFT21527	25/11/2015	AVONVALE PRIMARY SCHOOL	DONATION FOR END OF YEAR STUDENT AWARD 2015.	-	200.00
EFT21528	25/11/2015	BEAUREPAIRES	REPAIR PUNCTURED TYRE ON MULTIPLE SHIRE VEHICLES.	-	457.77
EFT21529	25/11/2015	BLACKWELL PLUMBING PTY LTD	MAINTENANCE REPAIRS TO MULTIPLE PUBLIC TOILETS.	-	1,290.24
EFT21530	25/11/2015	BOB DAVEY REAL ESTATE RENTAL TRUST A/C	ADVERTISING FEES FOR PROPERTY AUCTION.	-	724.90
EFT21531	25/11/2015	BOB WADDELL CONSULTANT	ASSISTANCE WITH HACC & NRCP ANNUAL REPORTS TO KILLARA.	-	3,099.80
EFT21532	25/11/2015	BOOTH PRINT	CHRISTMAS ON FITZGERALD FLYERS.	-	434.50
EFT21533	25/11/2015	BORAL RESOURCES WA LTD (ASPHALT)	ASHPHALT & OXIDE RED COLOUR FOR ENGINEERING SERVICES.	-	1,045.00

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EFT21534	25/11/2015	BUNNINGS BUILDING SUPPLIES P/L	CRAFTRIGHT PICK UP & REACHING TOOL.	-	170.60
EFT21535	25/11/2015	C.Y.O'CONNOR INSTITUTE	CERTIFICATE III IN AGED CARE FOR KILLARA EMPLOYEES.	-	150.45
EFT21536	25/11/2015	CANNON HYGIENE AUSTRALIA PTY LTD	CHARGES FOR MONTHLY MADI STANDARD SERVICE & SANITARY UNIT SERVICE FOR THE NORTHAM VISITOR CENTRE.	-	253.06
EFT21537	25/11/2015	CENTRAL MOBILE MECHANICAL REPAIRS	REPAIRS TO MULTIPLE SHIRE VEHICLES.	-	5,108.02
EFT21538	25/11/2015	CHILD SUPPORT AGENCY	PAYROLL DEDUCTIONS.	-	463.72
EFT21539	25/11/2015	CHILDREN WITH DIFFERENT ABILITIES	ADVERTISING FOR NORTHAM VISITOR CENTRE.	-	484.00
EFT21540	25/11/2015	CJD EQUIPMENT PTY LTD	MAINTENANCE PARTS FOR ENGINEERING SERVICES.	-	347.30
EFT21541	25/11/2015	COLIN DUNCAN GRANT	CLEANING NORTHAM DISTRICT SES & CLEANING SHIRE DEPOT FIRE DEPT STORE PEEL TCE.	-	180.00
EFT21542	25/11/2015	COUNTRY ARTS WA	ANNUAL SUBSCRIBERS MEMBERSHIP FEE TO COUNTRY ARTS WA.	-	110.00
EFT21543	25/11/2015	COUNTRY COPIERS NORTHAM	PHOTOCOPIER SERVICE AT SHIRE ADMIN & LIBRARY.	-	2,450.89
EFT21544	25/11/2015	COURIER AUSTRALIA	DELIVERY CHARGES FOR NOVEMBER 2015.	-	97.35
EFT21545	25/11/2015	DAMIAN'S PLUMBING	MAINTENANCE REPAIRS AT MULTIPLE SHIRE PROPERTIES.	-	1,505.90
EFT21546	25/11/2015	DENIS GRAHAM BERESFORD	REFUND OF DOG REGO.	-	75.00
EFT21547	25/11/2015	DS AGENCIES PTY	CUSTOM MADE PLATFORM BENCHES FOR ENGINEERING SERVICES.	-	12,430.00
EFT21548	25/11/2015	DUN & BRADSTREET AUSTRALIA	MGL SOLICITORS FEES & EXTERNAL SOLICITORS FEES FOR ASSORTED RATES PROPERTIES.	-	1,127.01
EFT21549	25/11/2015	E FIRE & SAFETY	SERVICE FIRE EQUIPMENT AT NORTHAM SHOWGROUNDS PAVILLION.	-	423.50
EFT21550	25/11/2015	EASTERN HILLS CRICKET CLUB INC	KIDSPORT FUNDING.	-	99.00
EFT21551	25/11/2015	EASTERN HILLS HORNETS TEEBALL & BASEBALL ASSOCIATION (INC)	KIDSPORT FUNDING.	-	300.00
EFT21552	25/11/2015	FM SURVEYS	NORTHAM SWIMMING POOLS GUTTER LEVELS.	-	264.00
EFT21553	25/11/2015	FRONTLINE FIRE & RESCUE EQUIPMENT	PPE EQUIPMENT FOR BRIGADES.	-	481.57
EFT21554	25/11/2015	GLENN STUART BEVERIDGE	MAINTENANCE WORK AT MULTIPLE SHIRE PROPERTIES.	-	1,450.00
EFT21555	25/11/2015	GRAFTON ELECTRICS	MAINTENANCE REPAIRS AT MULTIPLE SHIRE PROPERTIES.	-	3,995.21

**SHIRE OF NORTHAM**  
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EFT21556	25/11/2015	GREENWARD CONSULTING	SUBMISSION OF FINAL DRAFT LOCAL PLANNING POLICY FOR THE FITZGERALD STREET COMMERCIAL & CIVIC CENTRE HERITAGE PRECINCT.	- 3,308.40
EFT21557	25/11/2015	HAYLEY AYERS-FINDLAY	REIMBURSEMENT OF PETTY CASH ITEMS.	- 73.75
EFT21558	25/11/2015	HAYS SPECIALIST RECRUITMENT (AUSTRALIA) PTY LIMITED	PROFESSIONAL SERVICES PROVIDED BY CARY GREEN EXECUTIVE MANAGER CORPORATE SERVICES FOR THE WEEK ENDING 08/11/2015.	- 3,293.65
EFT21559	25/11/2015	HOLCIM AUSTRALIA PTY LTD	CONCRETE FOR INFORMATION BAY ON MITCHELL AVENUE.	- 1,315.60
EFT21560	25/11/2015	HOST AUTO REPAIRS	REPAIRS TO MULTIPLE BRIGADES VEHICLES.	- 6,839.60
EFT21561	25/11/2015	HOUSE OF SHARDAY	STOCK PURCHASES FOR NORTHAM VISITOR CENTRE.	- 368.91
EFT21562	25/11/2015	INVISION SIGNS AND DESIGNS	BUSINESS CARDS & NAME BADGES FOR MULTIPLE SHIRE EMPLOYEES.	- 620.40
EFT21563	25/11/2015	JAYNE MCINNES	CLEANING OF SENIORS MEMORIAL HALL.	- 1,260.00
EFT21564	25/11/2015	JTAGZ PTY LTD	YELLOW 2018 DOG TAGS FOR DEVELOPMENT SERVICES.	- 92.40
EFT21565	25/11/2015	KARINA MCROBERTS	PERFORMANCE AT NORTHAM LIBRARY LUNCHTIME CONCERT SERIES.	- 50.00
EFT21566	25/11/2015	KATHERINE STEWART	STOCK PURCHASES FOR NORTHAM VISITOR CENTRE.	- 50.00
EFT21567	25/11/2015	KLEENWEST DISTRIBUTORS	ASSORTED CLEANING PRODUCTS FOR KILLARA.	- 568.48
EFT21568	25/11/2015	LANDGATE	RURAL UV'S CHARGEABLE SCHEDULE R2015/13 DATED: 09/09/2015 TO 18/09/2015 & GROSS RENTAL VALUATIONS CHARGEABLE SCHEDULE NO: G2015/10 DATED: 29/08/2015 TO 25/09/2015.	- 783.15
EFT21569	25/11/2015	LEISURE INSTITUTE OF W A AQUATICS	CONFERENCE & SEMINARS COUNTRY POOL MANAGERS SEMINAR & LIWA MEMBER REGISTRATION.	- 400.00
EFT21570	25/11/2015	LLOYDS EARTHMOVING	PLANTS FOR CITIZENSHIP CEREMONY.	- 33.00
EFT21571	25/11/2015	LOCAL GOVERNMENT MANAGERS AUSTRALIA WA DIVISION INC	CHARGES FOR WOMEN'S FORUM - STICKY FLOORS & GLASS CEALINGS.	- 1,990.00
EFT21572	25/11/2015	MAXXIA PTY LTD	PAYROLL DEDUCTIONS.	- 514.32
EFT21573	25/11/2015	MAYBERRY HAMMOND & CO	LEGAL COST FOR NORTHAM SPEEDWAY LEASE & DEVELOPMENT AGREEMENT.	- 220.00
EFT21574	25/11/2015	MCDOWALL AFFLECK PTY LTD	REVIEW OF DILAPIDATION SURVEY FOR CONSTRUCTION OF KING CREEK PROJECT.	- 858.00
EFT21575	25/11/2015	MCINTOSH & SONS	OUTER BEAM FOR HOWARD ROTOSLASHER - PN0911.	- 467.94

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EFT21576	25/11/2015	METRO BEVERAGE CO PTY LTD	DRINKS FOR NORTHAM REC CENTRE.	-	108.25
EFT21577	25/11/2015	MOORE STEPHENS (WA) PTY LTD	ROADS TO RECOVERY ANNUAL RETURN FOR THE YEAR ENDED 30/06/2015.	-	2,750.00
EFT21578	25/11/2015	NAVMAN WIRELESS PTY LTD	MONTHLY SATELITE SERVICE FEE.	-	703.56
EFT21579	25/11/2015	NORTHAM & DISTRICTS GLASS SERVICE	MEASURE & REGLAZE TIMBER WINDOWS AT NORTHAM REC CENTRE.	-	662.20
EFT21580	25/11/2015	NORTHAM CENTRAL NEWSAGENCY	NEWSPAPER DELIVERIES FOR SHIRE ADMIN FOR THE PERIOD 01/10/2015 TO 31/10/2015.	-	46.50
EFT21581	25/11/2015	NORTHAM COURIER SERVICE	DELIVERY CHARGES FOR NOVEMBER 2015.	-	80.30
EFT21582	25/11/2015	NORTHAM FEED & HIRE	FOOD FOR THE UPKEEP OF THE SWANS.	-	228.00
EFT21583	25/11/2015	NORTHAM MITRE 10 SOLUTIONS	ASSORTED ITEMS FOR MAINTENANCE REPAIRS.	-	968.12
EFT21584	25/11/2015	NORTHAM TYREPOWER	REPLACE FRONT TYRE ON FUSO WATER TRUCK N007.	-	751.92
EFT21585	25/11/2015	NORTHAM WADO RYU KARATE CLUB	REFUND ON BOOKING FEE.	-	30.00
EFT21586	25/11/2015	OLLY'S CAR & FURNITURE UPHOLSTERY'S	REPAIR OF SHADE SAIL FOR NORTHAM SWIMMING POOL.	-	880.00
EFT21587	25/11/2015	OXTER SERVICES	ASSORTED CLEANING ITEMS FOR SHIRE ADMIN & NORTHAM VISITOR CENTRE & CEMETERY INVOICING FOR OCTOBER 2015.	-	9,388.51
EFT21588	25/11/2015	PAULL & WARNER BODY BUILDERS PTY LTD	MAINTENANCE ITEMS FOR SES STORM DAMAGE TEAM TO USE IN ROOF SAFETY SYSTEMS.	-	921.67
EFT21589	25/11/2015	PBF AUSTRALIA	PBF CORPORATE MEMBERSHIP.	-	3,500.00
EFT21590	25/11/2015	PRESTIGE ALARMS	SECURITY MONITORING FOR SHIRE ADMIN BUILDING FOR THE PERIOD 01/12/2015 TO 29/02/2016.	-	115.00
EFT21591	25/11/2015	PRIME MEDIA GROUP	NORTHAM ADVERT SERIES FOR THE PERIOD 09/10/2015 TO 26/10/2015.	-	1,267.20
EFT21592	25/11/2015	PROFESSIONAL LOCKSERVICE	KEYS FOR BAKERS HILL PAVILION, OLD GIRLS SCHOOL, NORTHAM POOL & WUNDOWIE POOL.	-	181.50
EFT21593	25/11/2015	PUBLIC TRANSPORT AUTHORITY OF WESTERN AUSTRALIA (TRANS WA)	TICKET SALES FOR AVONLINK FOR THE MONTH OCTOBER 2015.	-	26.58
EFT21594	25/11/2015	QUAD SERVICES PTY LTD	CLEANING OF MULTIPLE SHIRE BUILDING DURING OCTOBER 2015.	-	3,697.13
EFT21595	25/11/2015	QUIN'S GOURMET BUTCHERS	PURCHASE OF ASSORTED MEATS FOR KILLARA.	-	484.00
EFT21596	25/11/2015	RADIOWEST BROADCASTERS PTY LTD	RADIO ADS FOR FOOTPATH CONSTRUCTION PROGRAM FROM 13/10/2015 TO 31/10/2015.	-	1,482.80

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EFT21597	25/11/2015	RED DOT STORES	ASSORTED CRAFT ITEMS FOR EVENTS AT NORTHAM LIBRARY.	-	197.20
EFT21598	25/11/2015	RETAIL DECISIONS (COLES)	COLES EXPENSES FOR THE MONTH OF OCTOBER 2015.	-	2,578.23
EFT21599	25/11/2015	RETECH RUBBER	LONG JUMP RUNWAY FOR HENRY STREET OVAL.	-	6,344.14
EFT21600	25/11/2015	RICOH AUSTRALIA	PRINTER CARTRIDGE FOR LICENCING PRINTER.	-	172.70
EFT21601	25/11/2015	ROAD AND TRAFFIC SERVICES	PAVEMENT MARKINGS FOR RAILWAY MUSEUM.	-	874.50
EFT21602	25/11/2015	ROAD SIGNS AUSTRALIA	ASSORTED STREET SIGNS FOR ENGINEERING SERVICES.	-	1,329.90
EFT21603	25/11/2015	ROADSWEST ENGINEERING GROUP WA PTY LTD	PROVISION OF BRIDGE INSPECTION SERVICES.	-	17,083.00
EFT21604	25/11/2015	RURAL PRESS REGIONAL MEDIA (WA) PTY LTD	ASSORTED ADVERTISEMENTS IN THE AVON VALLEY ADVOCATE IN SEPTEMBER & OCTOBER 2015.	-	8,543.56
EFT21605	25/11/2015	SANTALEUCA FORESTRY	STOCK PURCHASES FOR NORTHAM VISITOR CENTRE.	-	237.35
EFT21606	25/11/2015	SETH WILLIAM TUCKER T/A TUCKERBUILT	MAINTENANCE WORK COMPLETED AT THE OLD TRAIN STATION.	-	1,936.00
EFT21607	25/11/2015	SILVER WINGS SENIOR CITIZENS GROUP INC	COMMUNITY PROJECT GRANT.	-	1,750.00
EFT21608	25/11/2015	SKILL HIRE WA PTY LTD	PROFESSIONAL SERVICES PROVIDED FOR ENGINEERING SERVICES IN OCTOBER 2015.	-	8,821.45
EFT21609	25/11/2015	SLAV'S CLEANING SERVICE	CLEANING SERVICES AT MULTIPLE SHIRE PROPERTIES.	-	8,763.01
EFT21610	25/11/2015	SPENCERS BROOK PROGRESS ASSOCIATION	ANNUAL BUDGET ALLOCATION.	-	6,930.00
EFT21611	25/11/2015	SPORTS SURFACES	SYNTHETIC TURF TO NEW MATCH WICKET AT JUBILEE OVAL.	-	4,796.00
EFT21612	25/11/2015	SPORTSPOWER NORTHAM	UNIFORMS FOR RECREATION CENTRE EMPLOYEES.	-	159.60
EFT21613	25/11/2015	STAPLES AUSTRALIA PTY LIMITED	STATIONARY ITEMS FOR ADMIN.	-	189.33
EFT21614	25/11/2015	STATE LIBRARY OF WESTERN AUSTRALIA	LOST ITEM FEES FOR WUNDOWIE LIBRARY.	-	70.40
EFT21615	25/11/2015	STERIHEALTH SERVICES PTY LTD	EMPTY SHARPS SAFES AT BERNARD PARK & APEX PARK TOILETS FOR OCTOBER 2015.	-	236.08
EFT21616	25/11/2015	STEWART & HEATON CLOTHING CO.PTY LTD	PPE EQUIPMENT FOR THE SES.	-	283.10
EFT21617	25/11/2015	SUPERCIVIL	KERB MAINTENANCE AT MULTIPLE LOCATIONS.	-	32,076.82
EFT21618	25/11/2015	THE LIMES ORCHARD STAY - PT & JA PERKINS	STOCK PURCHASES FOR THE NORTHAM VISITOR CENTRE.	-	67.20
EFT21619	25/11/2015	THE PAPER COMPANY OF AUSTRALIA	ENVELOPES FOR SHIRE ADMIN.	-	189.97

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EFT21620	25/11/2015	TRACEY PEARCE	FUEL REIMBURSEMENT DUE TO FUEL CARD NOT WORKING.	-	88.20
EFT21621	25/11/2015	TRISLEY'S HYDRAULIC SERVICES PTY LTD	SERVICE WORK INVESTIGATION WITH FAULTY PRO CAL UNIT.	-	330.00
EFT21622	25/11/2015	VERNICE PTY LTD	SORTING OUT BURNT GREEN WASTE PILES AT THE INKPEN ROAD LANDFILL SITE.	-	2,964.50
EFT21623	25/11/2015	VICTORIA JONES	REIMBURSEMENT FOR JUICE PURCHASED FOR SENIORS WEEK EVENT.	-	24.00
EFT21624	25/11/2015	VODAFONE	IRISHTOWN BRIGADE & SES MESSAGING SERVICE FOR THE PERIOD 01/11/2015 TO 30/11/2015.	-	252.21
EFT21625	25/11/2015	WA CONTRACT RANGER SERVICES	CHARGES FOR CAT IMPOUND & TEMPORARY CARE FOR OCTOBER 2015.	-	605.00
EFT21626	25/11/2015	WESTERN AUSTRALIAN TREASURY CORPORATION	LOAN NO. 221 INTEREST PAYMENT - AIRSTRIP UPGRADE.	-	6,951.22
EFT21627	25/11/2015	WESTWATER ENTERPRISES PTY LTD	SERVICE OF THE NORTHAM WASTE WATER TREATMENT PLANT.	-	3,841.09
EFT21628	25/11/2015	WHEATBELT SAFETYWEAR	PPE EQUIPMENT FOR ENGINEERING SERVICES.	-	266.00
			<b>SUB TOTAL EFT MUNICIPAL</b>	-	<b>383,600.87</b>
34344	09/11/2015	AUSTRALIAN SERVICES UNION	PAYROLL DEDUCTIONS.	-	25.80
34345	09/11/2015	LOCAL GOVERNMENT AND RACECOURSE EMPLOYEES UNION	PAYROLL DEDUCTIONS.	-	41.00
34346	09/11/2015	PETTY CASH	REIMBURSEMENT FOR THE LIBRARY FOR THE PERIOD 21/8/2015 TO 07/10/2015.	-	97.80
34347	09/11/2015	SYNERGY	ELECTRICITY ACCOUNT FOR ASSORTED SHIRE PROPERTIES FOR THE PERIOD 13/8/2015 TO 15/10/2015.	-	4,736.30
34348	09/11/2015	TELSTRA CORPORATION	TELEPHONE FOR NORTHAM SES FOR THE PERIOD 15/9/2015 TO 14/10/2015.	-	39.95
34349	09/11/2015	WATER CORPORATION	WATER USE & SERVICE CHARGE FOR ASSORTED SHIRE PROPERTIES FOR THE PERIOD 30/9/2015 TO 23/10/2015.	-	11,148.96
34350	13/11/2015	CITY OF BUNBURY	REGISTRATION FOR 2015 SWLGEMA CONFERENCE.	-	150.00
34351	13/11/2015	COMMISSIONER OF POLICE	APPLICATION FOR CHRISTMAS EVENT ROAD CLOSURE.	-	79.80
34352	13/11/2015	GOODEARTH HOTEL	ACCOMMODATION FOR KILLARA EMPLOYEES TO ATTEND HACC PROGRAM.	-	430.00
34353	13/11/2015	LUCY'S TEAROOMS	CATERING FOR MULTIPLE SHIRE MEETINGS.	-	323.00

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34354	13/11/2015	NORTHAM BETTA HOME LIVING	ASSORTED ITEMS FOR NORTHAM DEPOT & GRASS VALLEY FIRE SHED.	-	241.95
34355	13/11/2015	NORTHAM LAWN TENNIS CLUB	COMMUNITY GRANT SPONSORSHIP.	-	500.00
	13/11/2015	NORTHAM TOY & BIKE WORLD	GAME FOR NORTHAM LIBRARY PROGRAMMES.	-	44.91
34357	13/11/2015	PERFECT COMPUTER SOLUTIONS PTY LTD	COMPUTER FOR NEW TRAINEE DRAFTSPERSON.	-	1,475.00
34358	13/11/2015	SHIRE OF NORTHAM	PAYROLL DEDUCTIONS.	-	1,511.75
34359	13/11/2015	SYNERGY	ELECTRICITY ACCOUNT FOR ASSORTED SHIRE PROPERTIES FOR THE PERIOD 15/08/2015 TO 02/11/2015.	-	48,545.00
34360	13/11/2015	TELSTRA CORPORATION	MOBILE TELEPHONE ACCOUNT FOR THE PERIOD 25/10/2015 TO 24/11/2015 & PHONE ACCOUNT BAKERS HILL BFB FOR THE PERIOD 01/10/2015 TO 22/11/2015.	-	1,322.31
34361	13/11/2015	WATER CORPORATION	WATER USE & SERVICE CHARGES FOR ASSORTED SHIRE PROPERTIES FOR THE PERIOD 14/8/2015 TO 02/11/2015.	-	4,476.60
34362	13/11/2015	SHIRE OF NORTHAM	12 MONTH LICENCE & THIRD PARTY INSURANCE ON MULTIPLE VEHICLES.	-	50.20
34363	25/11/2015	AUSTRALIAN SERVICES UNION	PAYROLL DEDUCTIONS.	-	25.80
34364	25/11/2015	AVONVALE EDUCATION SUPPORT CENTRE	DONATION TOWARDS THE STUDENTS END OF YEAR AWARDS/GRADUATION.	-	200.00
34365	25/11/2015	HEATH JARROD TRENORDEN	CROSSOVER REBATE.	-	600.00
34366	25/11/2015	LOCAL GOVERNMENT AND RACECOURSE EMPLOYEES UNION	PAYROLL DEDUCTIONS.	-	41.00
34367	25/11/2015	LUCY'S TEAROOMS	CATERING FOR MULTIPLE SHIRE MEETINGS & EVENTS.	-	1,074.00
34368	25/11/2015	NORTHAM BETTA HOME LIVING	VACUUM CLEANER FOR RANGER SERVICE & ITEMS FOR THE HEALTH & WELL BEING PROGRAMME.	-	245.00
34369	25/11/2015	NORTHAM FAMILY PRACTICE	PRE-EMPLOYMENT MEDICAL FOR MICHAEL NEWTON.	-	236.50
34370	25/11/2015	NORTHAM HARDWARE	PPE EQUIPMENT FOR GRASS VALLEY BRIGADES.	-	75.00
34371	25/11/2015	NORTHAM YOUTHCARE COUNCIL	DONATION - SUPPORT FOR CHAPLAINCY IN SCHOOLS.	-	1,000.00
34372	25/11/2015	PETTY CASH	PETTY CASH REIMBURSEMENT FOR THE LIBRARY FROM 23/9/2015 TO 12/11/2015 & DEPOT FROM AUGUST TO NOVEMBER 2015.	-	180.40
34373	25/11/2015	PFD FOOD SERVICES PTY LTD	ASSORTED FOOD ITEMS FOR KILLARA.	-	226.90
34374	25/11/2015	SHANE PARKER	REIMBURSEMENT FOR DAMAGES TO VEHICLE.	-	280.00
34375	25/11/2015	SHIRE OF NORTHAM	PAYROLL DEDUCTIONS.	-	1,300.00

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34376	25/11/2015	SYNERGY	ELECTRICTY ACCOUNT FOR ASSORTED SHIRE PROPERTIES FOR THE PERIOD 31/08/2015 TO 05/11/2015.	- 3,026.00
34377	25/11/2015	TELSTRA CORPORATION	LANDLINE ACCOUNT FOR OCTOBER 2015 & TELEPHONE FOR SES FOR THE PERIOD 15/10/2015 TO 04/12/2015.	- 5,531.25
34378	25/11/2015	TPS TOTAL PAINTING SERVICES	PAINTING INTERIOR & EXTERIOR DAMAGED WALLS, WINDOWS, DOORS & FRAMES AT OLD GIRLS SCHOOL.	- 4,950.00
34379	25/11/2015	WATER CORPORATION	WATER USE & SERVICE CHARGES FOR ASSORTED SHIRE PROPERTIES FOR THE PERIOD 09/09/2015 TO 30/11/2015.	- 8,348.30
			<b>TOTAL MUNICIPAL CHEQUES</b>	<b>- 102,580.48</b>
DD9198.1	03/11/2015	TENNANT AUSTRALIA	LEASING FEE CLEANING EQUIPMENT NORTHAM RECREATION CENTRE NOVEMBER 2015	- 1,067.00
DD9202.1	03/11/2015	WA SUPER	PAYROLL DEDUCTIONS.	- 24,857.09
DD9202.2	03/11/2015	SUNSUPER	SUPERANNUATION CONTRIBUTIONS.	- 226.52
DD9202.3	03/11/2015	AMG UNIVERSAL SUPER	SUPERANNUATION CONTRIBUTIONS.	- 345.32
DD9202.4	03/11/2015	PRIME SUPER	SUPERANNUATION CONTRIBUTIONS.	- 82.02
DD9202.5	03/11/2015	COLONIAL FIRST STATE SUPERANNUATION	SUPERANNUATION CONTRIBUTIONS.	- 204.47
DD9202.6	03/11/2015	COMMONWEALTH BANK GROUP SUPER	SUPERANNUATION CONTRIBUTIONS.	- 100.90
DD9202.7	03/11/2015	QSUPER	SUPERANNUATION CONTRIBUTIONS.	- 180.73
DD9202.8	03/11/2015	MACAULAY SUPERANNUATION FUND	SUPERANNUATION CONTRIBUTIONS.	- 178.10
DD9202.9	03/11/2015	AUSTRALIAN SUPER PTY LTD	SUPERANNUATION CONTRIBUTIONS.	- 2,240.98
DD9228.1	11/11/2015	BANKWEST	EMIS - MASTERCARD 23/9/15 TO 22/10/15.	- 1,316.97
DD9228.1	11/11/2015	BANKWEST	EMDS - MASTERCARD 23/9/15 TO 22/10/15.	- 133.70
DD9228.1	11/11/2015	BANKWEST	CESM - 23/9/15 TO 22/10/15.	- 515.35
DD9228.1	11/11/2015	BANKWEST	EMCOMMS - MASTERCARD 23/9/15 TO 22/10/15.	- 358.92
DD9228.1	11/11/2015	BANKWEST	CEO - MASTERCARD 23/9/15 TO 22/10/15.	- 260.16
DD9258.1	17/11/2015	WA SUPER	PAYROLL DEDUCTIONS.	- 23,944.75
DD9258.2	17/11/2015	EWRAP SUPER	SUPERANNUATION CONTRIBUTIONS.	- 111.25
DD9258.3	17/11/2015	SUNSUPER	SUPERANNUATION CONTRIBUTIONS.	- 226.52
DD9258.4	17/11/2015	AMG UNIVERSAL SUPER	SUPERANNUATION CONTRIBUTIONS.	- 345.32
DD9258.5	17/11/2015	COLONIAL FIRST STATE SUPERANNUATION	SUPERANNUATION CONTRIBUTIONS.	- 68.61
DD9258.6	17/11/2015	COMMONWEALTH BANK GROUP SUPER	SUPERANNUATION CONTRIBUTIONS.	- 88.59

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DD9258.7	17/11/2015	QSUPER	SUPERANNUATION CONTRIBUTIONS.	-	180.73
DD9258.8	17/11/2015	MACAULAY SUPERANNUATION FUND	SUPERANNUATION CONTRIBUTIONS.	-	202.76
DD9258.9	17/11/2015	HESTA SUPER FUND	SUPERANNUATION CONTRIBUTIONS.	-	52.48
DD9268.1	17/11/2015	WA SUPER	SUPERANNUATION CONTRIBUTIONS.	-	178.79
DD9202.10	03/11/2015	REST INDUSTRY SUPER	SUPERANNUATION CONTRIBUTIONS.	-	383.50
DD9202.11	03/11/2015	CONCEPT ONE THE INDUSTRY SUPERANNUATION FUND	SUPERANNUATION CONTRIBUTIONS.	-	183.85
DD9202.12	03/11/2015	ZURICH AUSTRALIA LIMITED	SUPERANNUATION CONTRIBUTIONS.	-	244.42
DD9202.13	03/11/2015	BT SUPER FOR LIFE	SUPERANNUATION CONTRIBUTIONS.	-	521.95
DD9202.14	03/11/2015	(THE QUEENSLAND LOCAL GOVERNMENT SUPERANNUATION BOARD) LG SUPER	SUPERANNUATION CONTRIBUTIONS.	-	266.73
DD9202.15	03/11/2015	AMP LIFE LIMITED	SUPERANNUATION CONTRIBUTIONS.	-	255.77
DD9202.16	03/11/2015	EWRAP SUPER	SUPERANNUATION CONTRIBUTIONS.	-	89.62
DD9258.10	17/11/2015	AUSTRALIAN SUPER PTY LTD	SUPERANNUATION CONTRIBUTIONS.	-	2,144.81
DD9258.11	17/11/2015	REST INDUSTRY SUPER	SUPERANNUATION CONTRIBUTIONS.	-	500.71
DD9258.12	17/11/2015	CONCEPT ONE THE INDUSTRY SUPERANNUATION FUND	SUPERANNUATION CONTRIBUTIONS.	-	183.85
DD9258.13	17/11/2015	ZURICH AUSTRALIA LIMITED	SUPERANNUATION CONTRIBUTIONS.	-	244.42
DD9258.14	17/11/2015	BT SUPER FOR LIFE	SUPERANNUATION CONTRIBUTIONS.	-	521.95
DD9258.15	17/11/2015	(THE QUEENSLAND LOCAL GOVERNMENT SUPERANNUATION BOARD) LG SUPER	SUPERANNUATION CONTRIBUTIONS.	-	266.73
DD9258.16	17/11/2015	AMP LIFE LIMITED	SUPERANNUATION CONTRIBUTIONS.	-	255.77
			<b>TOTAL DIRECT DEBIT</b>	-	<b>63,532.11</b>
PAYROLL	05/11/2015	SHIRE OF NORTHAM MAIN PAY RUN	SHIRE OF NORTHAM EMPLOYEES PAYROLL.	-	195,439.12
PAYROLL	19/11/2015	SHIRE OF NORTHAM MAIN PAY RUN	SHIRE OF NORTHAM EMPLOYEES PAYROLL.	-	188,272.36
PAYROLL	23/11/2015	SHIRE OF NORTHAM ONE OFF PAY RUN	SHIRE OF NORTHAM ONE OFF EMPLOYEE PAYROLL	-	1,773.43
			<b>TOTAL PAYROLL</b>	-	<b>385,484.91</b>
			<b>TOTAL EFT MUNICIPAL</b>	-\$	<b>848,695.41</b>
			<b>TOTAL EFT TRUST</b>	-\$	<b>2,980.00</b>

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			<b>TOTAL CHEQUE MUNICIPAL</b>	<b>-\$ 102,580.48</b>
			<b>TOTAL CHEQUE TRUST</b>	<b>-\$ 3,886.35</b>
			<b>TOTAL DIRECT DEBIT</b>	<b>-\$ 63,532.11</b>
			<b>TOTAL PAYROLL</b>	<b>-\$ 385,484.91</b>
			<b>TOTAL</b>	<b>-\$ 1,407,159.26</b>

**SHIRE OF NORTHAM**  
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**COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015**

<b>LIST OF ACCOUNTS DUE AND SUBMITTED TO COUNCIL NOVEMBER 2015</b>				
<b>CHQ/EFT</b>	<b>DATE</b>	<b>NAME</b>	<b>DESCRIPTION</b>	<b>AMOUNT</b>
				<b>\$</b>
1930	16/11/2015	BUILDER'S REGISTRATION BOARD OF WA	MONTHLY BUILDING FEES COLLECTED FOR BSL FOR THE MONTH OF OCTOBER 2015.	- 1,641.81
1931	16/11/2015	BUILDING & CONSTRUCTION INDUSTRY TRAINING FUND	MONTHLY BUILDING FEES COLLECTED FOR BCITF FOR THE MONTH OF OCTOBER 2015.	- 1,401.54
1932	16/11/2015	CABLE LAYERS AUSTRALIA	REFUND OF STANDPIPE KEY 0010711430 RETURNED 02/11/2015.	- 50.00
1933	16/11/2015	NORTHAM HARDWARE	ITEMS FOR KILLARA CHRISTMAS RAFFLE.	- 100.00
1934	16/11/2015	SHIRE OF NORTHAM	MONTHLY BUILDING COMMISSION FEE FOR COLLECTION OF BSL & BCITF FOR OCTOBER 2015.	- 113.00
1935	16/11/2015	STEVEN MARK I'ANSON	REFUND OF CANDIDATE DEPOSIT.	- 80.00
1936	25/11/2015	WEST NORTHAM PRIMARY SCHOOL	REFUND OF BOND ON TOWN HALL.	- 500.00
			<b>TOTAL TRUST CHEQUES</b>	<b>- 3,886.35</b>
EFT21345	09/11/2015	AUSTRALIAN TAXATION OFFICE - PAYG	PAYG PAYRUN 21/10/2015 TO 03/11/2015.	- 53,921.00
EFT21346	09/11/2015	CHILD SUPPORT AGENCY	PAYROLL DEDUCTIONS.	- 463.72
EFT21347	09/11/2015	CHRIS DAVIDSON	COUNCILLOR MONTHLY PAYMENTS OCTOBER 2015.	- 955.30
EFT21348	09/11/2015	CHRISTOPHER RICHARD ANTONIO	COUNCILLOR MONTHLY PAYMENTS OCTOBER 2015.	- 872.42
EFT21349	09/11/2015	CROSS COUNTRY TOURS PTY LTD	TOUR CANCELLED AS VISITORS CENTRE COULDN'T PROVIDE IT.	- 100.00
EFT21350	09/11/2015	DENIS GRAHAM BERESFORD	COUNCILLOR MONTHLY PAYMENTS OCTOBER 2015.	- 1,726.55
EFT21351	09/11/2015	DESMOND ARNOLD HUGHES	COUNCILLOR MONTHLY PAYMENTS OCTOBER 2015.	- 1,726.55
EFT21352	09/11/2015	JOHN PROUD	COUNCILLOR MONTHLY PAYMENTS OCTOBER 2015.	- 835.42

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EFT21353	09/11/2015	JULIE ELLEN WILLIAMS	COUNCILLOR MONTHLY PAYMENTS OCTOBER 2015.	-	1,726.55
EFT21354	09/11/2015	KATHLEEN DAWN SAUNDERS	COUNCILLOR MONTHLY PAYMENTS OCTOBER 2015.	-	1,882.73
EFT21355	09/11/2015	LLEWELLYN A W	COUNCILLOR MONTHLY PAYMENTS OCTOBER 2015.	-	907.52
EFT21356	09/11/2015	MAXXIA PTY LTD	PAYROLL DEDUCTIONS.	-	514.32
EFT21357	09/11/2015	ROBERT WAYNE TINETTI	COUNCILLOR MONTHLY PAYMENTS OCTOBER 2015.	-	1,726.55
EFT21358	09/11/2015	STEVEN BRUCE POLLARD	COUNCILLOR MONTHLY PAYMENTS OCTOBER 2015.	-	2,779.55
EFT21359	09/11/2015	TERRY MATTHEW LITTLE	COUNCILLOR MONTHLY PAYMENTS OCTOBER 2015.	-	2,969.32
EFT21360	09/11/2015	TIA COMERY	REFUND OF HALL BOND.	-	500.00
EFT21361	09/11/2015	ULO RUMJANTSEV	COUNCILLOR PAYMENTS FOR OCTOBER 2015.	-	2,129.11
EFT21362	09/11/2015	POLLARD FAMILY SUPERANNUATION FUND T/A POLLARD ENTERPRISES PTY LTD	SUPERANNUATION MONTHLY CONTRIBUTION OCTOBER 2015.	-	2,500.00
EFT21363	13/11/2015	ABBOTT & CO PRINTERS	PRINTING OF DOG REGISTRATIONS ON A4 PERFORATED PAPER.	-	589.60
EFT21364	13/11/2015	AG IMPLEMENTS NORTHAM PTY LTD	BLADES FOR DEPOT MOWERS.	-	785.06
EFT21365	13/11/2015	AJ & SG FOWLER	GRAVEL FOR GUMLEY RD GRAVEL SHEETING.	-	462.00
EFT21366	13/11/2015	CANCELLED PAYMENT			
EFT21367	13/11/2015	ALLPUMPS & WATERBORING	LABOUR & ELECTRICAL WORK TO INSTALL AERATORS.	-	15,647.50
EFT21368	13/11/2015	ANGI MCCLUSKEY	PETTY CASH REIMBURSEMENT FOR THE LIBRARY.	-	220.33
EFT21369	13/11/2015	ANL LIGHTING AUSTRALIA PTY LTD	FLOOD LIGHTS FOR THE NORTHAM TOWN HALL.	-	296.95
EFT21370	13/11/2015	ARTHA PUBLISHING PTY LTD	AUSTRALIAN TOUR OPERATORS DIRECTORY FOR 2016.	-	345.00
EFT21371	13/11/2015	ASLAB PTY LTD	SUBGRADE TESTING JUBILEE OVAL PLAYGROUND.	-	1,006.58

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EFT21372	13/11/2015	AUSTRALASIAN PERFORMING RIGHT ASSOCIATION LTD APRA	LICENCE FEE FOR COPYRIGHT MUSIC FOR THE PERIOD OF 01/10/2015 TO 31/12/2015.	-	458.67
EFT21373	13/11/2015	AUSTRALIAN CIVILS PTY LTD	CLAIM #1 SHIRE OF NORTHAM FOOTPATHS BORONIA AVENUE WUNDOWIE.	-	50,887.21
EFT21374	13/11/2015	AUTOPRO NORTHAM	TOOLS FOR EMPLOYEE OF THE QUARTER.	-	200.00
EFT21375	13/11/2015	AV-SEC SECURITY SERVICES	SECURITY MONITORING AT MULTIPLE SHIRE PROPERTIES.	-	1,399.60
EFT21376	13/11/2015	AVON A PARTY	PA SYSTEM FOR PINK RIBBON WALK.	-	150.00
EFT21377	13/11/2015	AVON DEMOLITION & EARTHMOVING	MANAGEMENT OF INKPEN ROAD WASTE MANAGEMENT FACILITY FOR THE PERIOD 12/10/2015 TO 26/10/2015.	-	1,568.00
EFT21378	13/11/2015	AVON FIBRE TECH	SUPPLY X4 PONTOONS FOR FIREWORKS DISPLAY.	-	550.00
EFT21379	13/11/2015	AVON PAPER SHRED	SHREDDING OF CONFIDENTIAL OFFICE PAPER.	-	55.00
EFT21380	13/11/2015	AVON TOURISM INCORPORATED	SPONSORSHIP FOR 2015/2016.	-	6,400.00
EFT21381	13/11/2015	AVON VALLEY ARTS SOCIETY (INC)	STOCK PURCHASES FOR NORTHAM VISITORS CENTRE.	-	99.00
EFT21382	13/11/2015	AVON VALLEY MOWER & CHAINSAW CENTRE	HUSQVARNA BARS FOR RIDE ON REEL MOWER.	-	65.00
EFT21383	13/11/2015	AVON VALLEY NISSAN	NEW MITSUBISHI OUTLANDER N11131 FOR EXEC MANAGER COMMUNITY SERVICES.	-	19,929.99
EFT21384	13/11/2015	AVON VALLEY STOCK FEED & GARDEN SUPPLIES	FOOD FOR THE UPKEEP OF THE SWANS.	-	363.80
EFT21385	13/11/2015	AVON WASTE	AVON WASTE COLLECTION FOR THE FORTNIGHT ENDING 16/10/2015.	-	33,707.20
EFT21386	13/11/2015	AVW ELECTRICAL	INSTALLATION OF PHONE LINE & LIGHTS AT GRASS VALLEY FIRE SHED.	-	5,231.49
EFT21387	13/11/2015	BARCODE DIRECT	RECEIPT PRINTER FOR NORTHAM LIBRARY.	-	2,464.00
EFT21388	13/11/2015	CANCELLED PAYMENT			
EFT21389	13/11/2015	BLACKWELL PLUMBING PTY LTD	ASSORTED WORK DONE AT MULTIPLE PUBLIC TOILETS.	-	6,986.15

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EFT21390	13/11/2015	BOB COOPER OUTBACK SURVIVAL PTY LTD	STOCK PURCHASES FOR NORTHAM VISITOR CENTRE.	-	333.72
EFT21391	13/11/2015	BOEKEMAN MACHINERY	ASSORTED MECHANICAL ITEMS FOR ENGINEERING SERVICES.	-	196.10
EFT21392	13/11/2015	BOOTH PRINT	PRINTING OF COLOURED AVON LINK FLYERS.	-	172.70
EFT21393	13/11/2015	BRIDGING WATERS (BW IMPORTS)	STOCK PURCHASES FOR NORTHAM VISITORS CENTRE.	-	421.70
EFT21394	13/11/2015	CENTRAL MOBILE MECHANICAL REPAIRS	REPAIRS TO MULTIPLE SHIRE VEHICLES.	-	13,343.65
EFT21395	13/11/2015	CHERYL FAY GREENOUGH	REIMBURSEMENT FOR FOOD FOR THE MELBOURNE CUP LUNCHEON.	-	90.00
EFT21396	13/11/2015	CJD EQUIPMENT PTY LTD	ASSORTED MECHANICAL ITEMS FOR ENGINEERING SERVICES.	-	591.46
EFT21397	13/11/2015	CLACKLINE FENCING CONTRACTORS	SECURITY FENCE REPAIRS AT MULTIPLE SHIRE PROPERTIES.	-	600.00
EFT21398	13/11/2015	COCA-COLA AMATIL (AUST) PTY LTD	DRINKS FOR THE NORTHAM SWIMMING POOL.	-	2,179.28
EFT21399	13/11/2015	COLIN DUNCAN GRANT	CLEANING NORTHAM DISTRICT SES FOR OCTOBER.	-	110.00
EFT21400	13/11/2015	COUNTRY COPIERS NORTHAM	SERVICE PHOTOCOPIERS AT ADMIN BUILDING, KILLARA & NORTHAM REC CENTRE.	-	7,087.85
EFT21401	13/11/2015	COURIER AUSTRALIA	DELIVERY CHARGES FOR OCTOBER 2015.	-	364.43
EFT21402	13/11/2015	COVS PARTS PTY LTD	ADBLUE DIESEL ADDITIVE 20L FOR KILLARA2.	-	119.02
EFT21403	13/11/2015	CUTTING EDGES EQUIPMENT PARTS	ASSORTED MECHANICAL ITEMS FOR ENGINEERING SERVICES.	-	243.24
EFT21404	13/11/2015	DAIBRO PTY LTD WHEATBELT CARAVAN & RV CENTRE	INSTALL & SUPPLY JOCKEY SWIVEL WHEEL ON N5461.	-	528.00
EFT21405	13/11/2015	DEPARTMENT OF FIRE AND EMERGENCY SERVICE (DFES) OF WESTERN AUSTRALIA	RATES REFUND.	-	800.00
EFT21406	13/11/2015	DUNCAN GROUP INTERNATIONAL - CLACKLINE VALLEY OLIVES	STOCK PURCHASES FOR NORTHAM VISITORS CENTRE.	-	54.00

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EFT21407	13/11/2015	DUNNING INVESTMENTS PTY LTD	FUEL ACCOUNT FOR THE MONTH OF OCTOBER 2015.	- 27,345.29
EFT21408	13/11/2015	EP PROPERTY CARE SERVICES	MONTHLY GARDEN MAINTENANCE TO NORTHAM SWIMMING POOL.	- 263.40
EFT21409	13/11/2015	ESPLANADE HOTEL FREMANTLE	ACCOMMODATION & PARKING FOR LGMA STATE CONFERENCE.	- 518.00
EFT21410	13/11/2015	FIRE AND SAFETY WA	PPE EQUIPMENT FOR FIRE BRIGADES.	- 938.35
EFT21411	13/11/2015	FIRE MITIGATION SERVICES	PROVIDE A REPORT FOR SELECTED RESERVES & FREEHOLD LAND & CONDUCT FUEL LOAD ASSESSMENTS.	- 7,500.00
EFT21412	13/11/2015	FRED HOPKINS WA	PARTS FOR CELLI MOWER.	- 952.60
EFT21413	13/11/2015	FRONTLINE FIRE & RESCUE EQUIPMENT	PPE EQUIPMENT FOR FIRE BRIGADES.	- 603.23
EFT21414	13/11/2015	GEOFF NINNES FONG & PARTNERS PTY LTD	ASSESSMENT REPORT & FUTURE PROVISION FOR POOLS.	- 10,780.00
EFT21415	13/11/2015	GEORDAS THARIYATH	REIMBURSEMENT FOR EQUIPMENT PURCHASED.	- 73.50
EFT21416	13/11/2015	GLENN STUART BEVERIDGE	ASSORTED MAINTENANCE WORK DONE AT MULTIPLE SHIRE PROPERTIES.	- 4,075.50
EFT21417	13/11/2015	HAKO AUSTRALIA PTY LTD	PARTS FOOTPATH SWEEPER.	- 108.24
EFT21418	13/11/2015	HART SPORT	EQUIPMENT FOR NORTHAM REC CENTRE.	- 288.50
EFT21419	13/11/2015	HAYLEY AYERS-FINDLAY	PETTY CASH REIMBURSEMENT FOR THE LIBRARY.	- 27.92
EFT21420	13/11/2015	HAYS SPECIALIST RECRUITMENT (AUSTRALIA) PTY LIMITED	RETAINER STAGE 1 & STAGE 2 FOR EXECUTIVE MANAGER CORPORATE SERVICES.	- 16,500.00
EFT21421	13/11/2015	HEMA MAPS PTY LTD	STOCK PURCHASES FOR NORTHAM VISITORS CENTRE.	- 100.30
EFT21422	13/11/2015	HOLCIM AUSTRALIA PTY LTD	CONCRETE FOR MULTIPLE LOCATIONS IN THE SHIRE OF NORTHAM.	- 902.00
EFT21423	13/11/2015	HOST AUTO REPAIRS	REPAIRS TO MULTIPLE SHIRE VEHICLES.	- 10,213.75
EFT21424	13/11/2015	INLAND PLUMBING & TOTAL RETICULATION	SOLENOIDS FOR MULTIPLE SHIRE PROPERTIES.	- 1,024.65

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EFT21425	13/11/2015	INSTITUTE OF PUBLIC WORKS ENGINEERING AUSTRALIA - WA DIVISION	PUBLIC WORKS TRAINING WEEK ONE DAY REGISTRATION.	-	450.00
EFT21426	13/11/2015	INVISION SIGNS AND DESIGNS	STOCK PURCHASES FOR NORTHAM VISITORS CENTRE.	-	1,406.90
EFT21427	13/11/2015	JAYCAR PTY LTD	SECURITY CAMERA'S FOR CLACKLINE & BAKERS HILL.	-	1,258.00
EFT21428	13/11/2015	JEF SALES & SERVICE	REPAIR STIHL CHAINSAW.	-	235.00
EFT21429	13/11/2015	KATHERINE STEWART	STOCK PURCHASES FOR NORTHAM VISITORS CENTRE.	-	20.00
EFT21430	13/11/2015	KLEENWEST DISTRIBUTORS	ASSORTED CLEANING PRODUCTS FOR KILLARA.	-	1,045.01
EFT21431	13/11/2015	LGIS - LOCAL GOVERNMENT INSURANCE SERVICES WA	ACTUAL WAGES DECLARATION ADJUSTMENT FOR 2014-2015.	-	5,044.05
EFT21432	13/11/2015	LGIS INSURANCE BROKING	MOTOR VEHICLE INSURANCE FOR THE PERIOD OF 30/06/2014 TO 30/06/2015.	-	1,856.86
EFT21433	13/11/2015	LOUI'S PLANT HIRE	CARTAGE OF ROCK TO SHIRE YARD & TO GEORGE NUICH PARK.	-	3,300.00
EFT21434	13/11/2015	LRA CIVIL PTY LTD	PROGRESS CLAIM #5 FOR WUNDOWIE DRAINAGE WORKS.	-	17,072.95
EFT21435	13/11/2015	MAYBERRY HAMMOND & CO	PROFESSIONAL LEGAL SERVICES.	-	1,274.40
EFT21436	13/11/2015	MEGA-FIX	MAINTENANCE PARTS FOR FERRIS MOWER.	-	11.25
EFT21437	13/11/2015	METRO BEVERAGE CO PTY LTD	REFRESHMENTS FOR NORTHAM REC CENTRE.	-	380.20
EFT21438	13/11/2015	MIDALIA STEEL	GALVANISED TUBE WITH CAP FOR ENGINEERING SERVICES.	-	55.34
EFT21439	13/11/2015	MOUNT HELENA LITTLE ATHLETICS CLUB	KIDSPORT FUNDING.	-	372.00
EFT21440	13/11/2015	NETSIGHT	MYOSH MONTHLY SUBSCRIPTION NOVEMBER 2015.	-	663.30
EFT21441	13/11/2015	NORTHAM & DISTRICTS GLASS SERVICE	WINDOW REPAIRS AT NORTHAM REC CENTRE & OLD GIRLS SCHOOL.	-	2,105.40
EFT21442	13/11/2015	NORTHAM AMATEUR BASKETBALL ASSOCIATION	KIDSPORT FUNDING.	-	5,594.00

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EFT21443	13/11/2015	NORTHAM CENTRAL NEWSAGENCY	NEWSPAPERS FOR NORTHAM LIBRARY & KILLARA FOR OCTOBER 2015.	-	126.05
EFT21444	13/11/2015	NORTHAM HOLDEN	105,000KM SERVICE TO HOLDEN COLORADO N.4021.	-	307.41
EFT21445	13/11/2015	NORTHAM JUNIOR CRICKET ASSOCIATION	KIDSPORTS FUNDING.	-	720.00
EFT21446	13/11/2015	NORTHAM LIQUOR BARONS	ASSORTED ITEMS FOR SHIRE FUNCTIONS.	-	472.80
EFT21447	13/11/2015	NORTHAM MITRE 10 SOLUTIONS	MAINTENANCE PARTS FOR MULTIPLE SHIRE PROPERTIES.	-	638.04
EFT21448	13/11/2015	NORTHAM NATIONALS	STOCK PURCHASES FOR NORTHAM VISITORS CENTRE.	-	45.00
EFT21449	13/11/2015	NORTHAM NURSERY	ASSORTED PLANTS FOR ENGINEERING SERVICES.	-	1,014.00
EFT21450	13/11/2015	NORTHAM OVER 60'S GROUP INC	COMMUNITY CLUB DONATION FOR 2015/2016.	-	750.00
EFT21451	13/11/2015	NORTHAM PRIMARY SCHOOL P&C	COMMUNITY GRANT FUNDING.	-	1,875.00
EFT21452	13/11/2015	NORTHAM TYREPOWER	REPLACE X2 FRONT TYRES ON QUAD BIKE PN020 26 X 12.00 R12.	-	350.00
EFT21453	13/11/2015	NORTHAM VETERINARY CENTRE	EUTHANASIA OF FERAL CAT FROM KURINGAL VILLAGE WUNDOWIE.	-	116.36
EFT21454	13/11/2015	OCTAGON-BKG LIFTS	ROUTINE MAINTENANCE TO ACCESS PLATFORM LIFT AT NORTHAM LIBRARY.	-	497.95
EFT21455	13/11/2015	OFFICEWORKS SUPERSTORES PTY LTD	STATIONARY ITEMS FOR NORTHAM LIBRARY & REC CENTRE.	-	972.95
EFT21456	13/11/2015	OXTER SERVICES	ASSORTED CLEANING PRODUCTS FOR MULTIPLE SHIRE PROPERTIES & GRASS VALLEY & BAKERS HILL MAINTENANCE FOR THE PERIOD OF 5/10/2015 TO 30/10/2015.	-	2,076.90
EFT21457	13/11/2015	PERTH SAFETY PRODUCTS PTY LTD	ASSORTED TRAFFIC SIGNS FOR ENGINEERING SERVICES.	-	3,888.50
EFT21458	13/11/2015	PHILIP JOHN ROBINSON	MAINTENANCE REPAIRS TO MULTIPLE SHIRE PROPERTIES.	-	1,196.80
EFT21459	13/11/2015	PHOENIX PAINTS PTY LTD	20L DRUMS OF BLACK SPRAY MARKING PAINT.	-	261.93

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EFT21460	13/11/2015	PORTER CONSULTING ENGINEERS	REVIEW OF MORBY COTTAGE STRUCTURE PLAN.	-	1,980.00
EFT21461	13/11/2015	PORTNER PRESS PTY LTD	EMPLOYMENT LAW UPDATE 8 2015.	-	97.00
EFT21462	13/11/2015	PROMAPP SOLUTIONS LIMITED	PROMAPP PROCESS MANAGER SOFTWARE ACCESS FOR 50 LICENSES.	-	1,122.00
EFT21463	13/11/2015	QUIN'S GOURMET BUTCHERS	ASSORTED MEAT FOR KILLARA.	-	260.10
EFT21464	13/11/2015	ROADS2000	EARTHWORKS AT VARIOUS LOCATIONS.	-	26,611.20
EFT21465	13/11/2015	ROADSWEST ENGINEERING GROUP WA PTY LTD	PROVISION OF 85% DESIGN REVIEW REPORT FOR BRIDGE 638 REFURBISHMENT.	-	5,340.50
EFT21466	13/11/2015	ROWLANDS TV & VIDEO REPAIRS	REPAIRS TO SHORT CIRCUIT IN CORDLESS MICROPHONE.	-	50.60
EFT21467	13/11/2015	ROYAL LIFE SAVING SOCIETY WA	POOL LIFEGUARD REQUALIFICATION FOR POOL STAFF.	-	260.00
EFT21468	13/11/2015	SETH WILLIAM TUCKER T/A TUCKERBUILT	POROUS PAVING AROUND STREET TREE BASES.	-	440.00
EFT21469	13/11/2015	SIGMA CHEMICALS	RUBBER PAINT - WHITE 4 LITRES & EMERKIT - 2 PACK EPOXY.	-	385.00
EFT21470	13/11/2015	SIGNAL ONE PTY LTD	X1 WOLFCOM VISION BODYCAM LE EDITION FOR RANGER SERVICES.	-	488.95
EFT21471	13/11/2015	SLAV'S CLEANING SERVICE	CLEANING OF RECREATION CENTRE FOR THE PERIOD 7/10/2015 TO 06/11/2015.	-	3,325.41
EFT21472	13/11/2015	SPECIALE SMASH REPAIRS	REPAIRED FRONT BUMPER LOWER GRILLE ON KILLARA3.	-	338.65
EFT21473	13/11/2015	SPECIALISED TREE SERVICE	TREE PRUNING AT ASSORTED LOCATIONS IN THE SHIRE OF NORTHAM AS PER WESTERN POWER REQUIREMENTS.	-	6,650.00
EFT21474	13/11/2015	SPORTSPOWER NORTHAM	SPORTS EQUIPMENT FOR NORTHAM REC CENTRE.	-	647.17
EFT21475	13/11/2015	ST JOHN AMBULANCE AUSTRALIA	FIRST AID KIT SERVICING IN MULTIPLE SHIRE VEHICLES.	-	149.21
EFT21476	13/11/2015	ST JOSEPH'S SCHOOL	CONTRIBUTION TOWARDS INDIGENOUS SCHOLARSHIP SCHEME & CONTRIBUTION TOWARDS PRESENTATION NIGHT 2015.	-	700.00

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EFT21477	13/11/2015	STAPLES AUSTRALIA PTY LIMITED	STATIONERY ORDER FOR LIBRARY, DEPOT & MAIN OFFICE.	-	877.34
EFT21478	13/11/2015	STATE LIBRARY OF WESTERN AUSTRALIA	WUNDOWIE LIBRARY LOST & DAMAGED ITEMS.	-	55.00
EFT21479	13/11/2015	STEWART & HEATON CLOTHING CO.PTY LTD	ASSORTED PPE FOR BUSH FIRE OFFICERS.	-	2,090.97
EFT21480	13/11/2015	THE FARM SHOP	REPAIR HAND RAILS ALONG RIVERBANK VISITORS CENTRE SIDE - VANDALISM.	-	42.90
EFT21481	13/11/2015	THE WORKWEAR GROUP	UNIFORMS FOR MULTIPLE SHIRE EMPLOYEES.	-	586.02
EFT21482	13/11/2015	THEA COMMINS	STOCK PURCHASES FOR NORTHAM VISITOR CENTRE.	-	330.55
EFT21483	13/11/2015	TIDY TOWNS TOODYAY COLLABORATIVE COMMUNITY CLEAN	TOODYAY/NORTHAM ROAD COMMUNITY CLEAN UP.	-	1,320.00
EFT21484	13/11/2015	TRISLEY'S HYDRAULIC SERVICES PTY LTD	SERVICE TO POOL FILTERATION SYSTEM AT WUNDOWIE.	-	1,557.60
EFT21485	13/11/2015	TYRECYCLE PTY LTD	COLLECTION OF TYRES FROM THE OLD QUARRY REFUSE SITE.	-	2,575.45
EFT21486	13/11/2015	WA COUNTRY HEALTH SERVICE	REFUND OF OVERPAYMENT.	-	136.00
EFT21487	13/11/2015	WALLYS BITUMEN PAVING	ASPHALT WORKS AT NORTHAM RAILWAY MUSEUM.	-	220.00
EFT21488	13/11/2015	WATTLEUP TRACTORS	PARTS FOR HOWARD PROCUT ROLLAMOWER.	-	799.65
EFT21489	13/11/2015	WBS GROUP PTY LTD	REFUND OF ADVERTISING FEE.	-	132.00
EFT21490	13/11/2015	WESTWIDE AUTO ELECTRICS AND AIR CONDITIONING	REPAIRS TO MULTIPLE SHIRE VEHICLES.	-	4,942.80
EFT21491	13/11/2015	WHEATBELT PARTY AND EVENT HIRE	ROOM DECORATIONS FOR SENIORS WEEK CONCERT.	-	895.40
EFT21492	13/11/2015	WHEATBELT SAFETYWEAR	PPE EQUIPMENT FOR ENGINEERING SERVICES.	-	630.00
EFT21493	13/11/2015	WORMALD FIRE (WA)	MONTHLY ROUTINE INSPECTION & MAINTENANCE OF THE NORTHAM TOWN HALL.	-	153.97

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EFT21494	13/11/2015	WRIGHT EXPRESS AUSTRALIA PTY LTD (PUMA ENERGY)	FUEL FOR THE WUNDOWIE DEPOT & BAKERS HILL BFB FOR OCTOBER 2015.	-	400.29
EFT21495	13/11/2015	WUNDOWIE SPRINGS PTY LTD WUNDOWIE ONE STOP	SAUSAGES & GROCERIES FOR THE OPENING OF THE WUNDOWIE SKATE PARK.	-	463.41
EFT21496	13/11/2015	YELLOWMETAL	ASSORTED MAINTENANCE MATERIALS.	-	385.00
			<b>SUB TOTAL EFT MUNICIPAL</b>	-	<b>462,449.61</b>
EFT21497	16/11/2015	CHRIS DAVIDSON	REFUND OF CANDIDATE DEPOSIT.	-	80.00
EFT21498	16/11/2015	CHRISTOPHER RICHARD ANTONIO	REFUND OF CANDIDATE DEPOSIT.	-	80.00
EFT21499	16/11/2015	JANETTE KATHERINE SEAGRIM	REFUND OF CANDIDATE'S DEPOSIT FROM 2013 ELECTION.	-	80.00
EFT21500	16/11/2015	JOHN PROUD	REFUND OF CANDIDATE DEPOSIT.	-	80.00
EFT21501	16/11/2015	JULIE ELLEN WILLIAMS	REFUND OF COUNCILLOR CANDIDATE DEPOSIT.	-	80.00
EFT21502	16/11/2015	ROBERT WAYNE TINETTI	REFUND OF COUNCILLOR CANDIDATE DEPOSIT.	-	80.00
			<b>SUB TOTAL EFT TRUST</b>	-	<b>480.00</b>
EFT21503	16/11/2015	BEAUREPAIRES	NEW TYRES & TYRE REPAIRS FOR MULTIPLE SHIRE VEHICLES.	-	2,644.93
			<b>SUB TOTAL EFT MUNICIPAL</b>	-	<b>2,644.93</b>
EFT21504	25/11/2015	AVON YOUTH COMMUNITY AND FAMILY SERVICES	REFUND OF BOND ON HOSPITALITY ROOM BOOKING.	-	2,000.00
EFT21505	25/11/2015	SKILL HIRE WA PTY LTD	REFUND OF BOND ON LESSER HALL BOOKING.	-	500.00
			<b>SUB TOTAL EFT TRUST</b>	-	<b>2,500.00</b>
EFT21506	25/11/2015	JR & A HERSEY PTY LTD	PPE EQUIPMENT FOR ENGINEERING SERVICES.	-	1,171.17
EFT21507	25/11/2015	ABBOTT & CO PRINTERS	A4 DOG REGISTRATION PAPERS FOR RANGER SERVICES.	-	589.60
EFT21508	25/11/2015	ACES ANIMAL CARE EQUIPMENT SERVICES PTY LTD	SPRAY SHIELD CITRONELLA SPRAY FOR RANGER SERVICES.	-	133.40
EFT21509	25/11/2015	AG IMPLEMENTS NORTHAM PTY LTD	WHIPPER SNIPPER CORD & UNIVERSAL ALLOY HEADS.	-	393.10

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EFT21510	25/11/2015	AJ & SG FOWLER	GRAVEL TO LEAVER RD & GRAVEL FROM JENNAPULLIN PIT FOR ENGINEERING SERVICES.	-	12,316.27
EFT21511	25/11/2015	ALAN'S AUTO ELECTRICS	REPAIR TRAILER LIGHTS ON N10922.	-	57.50
EFT21512	25/11/2015	ALIA LTD	INSTITUTIONAL MEMBERSHIP RENEWAL FOR ANGI MCCLUSKEY.	-	478.00
EFT21513	25/11/2015	ALLMARK & ASSOCIATES PTY LTD	JARRAH DESK NAME PLATE FOR COUNCILLORS & EXECUTIVE MANAGER CORPORATE SERVICE.	-	467.50
EFT21514	25/11/2015	ANDY'S PLUMBING SERVICE	MAINTENANCE AT MULTIPLE SHIRE PROPERTIES.	-	3,031.60
EFT21515	25/11/2015	ANGI MCCLUSKEY	PETTY CASH REIMBURSEMENTS.	-	65.10
EFT21516	25/11/2015	APPLIED INDUSTRIAL TECHNOLOGIES T/A NORTHAM BEARINGS	RUBBER MATTING 9.5 MM X 1200MM FOR FERRIS LAWN MOWERS N.4060 & N.4019.	-	48.40
EFT21517	25/11/2015	ARCUS AUSTRALIA PTY LTD	ARCUS HT4 DRINKING TROUGH, ARCUS RUBBER BUBBLERS, ARCUS WATER COOLER FOR THE REC CENTRE.	-	5,808.00
EFT21518	25/11/2015	AUSTRALIA POST	AUSTRALIA POST FOR ADMIN, LIBRARY & KILLARA FOR OCTOBER 2015.	-	3,691.20
EFT21519	25/11/2015	AUSTRALIAN CIVILS PTY LTD	CLAIM FOR SHIRE OF NORTHAM FOOTPATHS AT WOOD DRIVE, PERINA PLACE, QUELQUELLING ROAD NORTHAM & BORONIA AVENUE WUNDOWIE.	-	80,082.75
EFT21520	25/11/2015	AUSTRALIAN TAXATION OFFICE - PAYG	PAYG PAYRUN 04/11/2015 TO 17/11/2015 & PAYG PAYRUN 23/11/2015.	-	51,377.98
EFT21521	25/11/2015	AUTOPRO NORTHAM	EQUIPMENT FOR BAKERS HILL BRIGADES.	-	188.50
EFT21522	25/11/2015	AVON DEMOLITION & EARTHMOVING	MANAGEMENT OF INKPEN ROAD WASTE MANAGEMENT FACILITY FOR THE PERIOD 27/10/2015 TO 08/11/2015.	-	1,568.00
EFT21523	25/11/2015	AVON TELECOMS PTY LTD	SECURITY MONITORING FOR MULTIPLE SHIRE PROPERTIES.	-	335.05
EFT21524	25/11/2015	AVON VALLEY MOWER & CHAINSAW CENTRE	ASSORTED POOL PRODUCTS.	-	1,427.91
EFT21525	25/11/2015	AVON VALLEY STOCK FEED & GARDEN SUPPLIES	MEGA MIX FERTILIZER FOR WUNDOWIE TOWNSITE MAINTENANCE & FOOD FOR THE UPKEEP OF SWANS.	-	254.45

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EFT21526	25/11/2015	AVON YOUTH COMMUNITY AND FAMILY SERVICES	COMMUNITY GRANT FUNDING.	- 10,564.00
EFT21527	25/11/2015	AVONVALE PRIMARY SCHOOL	DONATION FOR END OF YEAR STUDENT AWARD 2015.	- 200.00
EFT21528	25/11/2015	BEAUREPAIRES	REPAIR PUNCTURED TYRE ON MULTIPLE SHIRE VEHICLES.	- 457.77
EFT21529	25/11/2015	BLACKWELL PLUMBING PTY LTD	MAINTENANCE REPAIRS TO MULTIPLE PUBLIC TOILETS.	- 1,290.24
EFT21530	25/11/2015	BOB DAVEY REAL ESTATE RENTAL TRUST A/C	ADVERTISING FEES FOR PROPERTY AUCTION.	- 724.90
EFT21531	25/11/2015	BOB WADDELL CONSULTANT	ASSISTANCE WITH HACC & NRCP ANNUAL REPORTS TO KILLARA.	- 3,099.80
EFT21532	25/11/2015	BOOTH PRINT	CHRISTMAS ON FITZGERALD FLYERS.	- 434.50
EFT21533	25/11/2015	BORAL RESOURCES WA LTD (ASPHALT)	ASHPHALT & OXIDE RED COLOUR FOR ENGINEERING SERVICES.	- 1,045.00
EFT21534	25/11/2015	BUNNINGS BUILDING SUPPLIES P/L	CRAFTRIGHT PICK UP & REACHING TOOL.	- 170.60
EFT21535	25/11/2015	C.Y.O'CONNOR INSTITUTE	CERTIFICATE III IN AGED CARE FOR KILLARA EMPLOYEES.	- 150.45
EFT21536	25/11/2015	CANNON HYGIENE AUSTRALIA PTY LTD	CHARGES FOR MONTHLY MADI STANDARD SERVICE & SANITARY UNIT SERVICE FOR THE NORTHAM VISITOR CENTRE.	- 253.06
EFT21537	25/11/2015	CENTRAL MOBILE MECHANICAL REPAIRS	REPAIRS TO MULTIPLE SHIRE VEHICLES.	- 5,108.02
EFT21538	25/11/2015	CHILD SUPPORT AGENCY	PAYROLL DEDUCTIONS.	- 463.72
EFT21539	25/11/2015	CHILDREN WITH DIFFERENT ABILITIES	ADVERTISING FOR NORTHAM VISITOR CENTRE.	- 484.00
EFT21540	25/11/2015	CJD EQUIPMENT PTY LTD	MAINTENANCE PARTS FOR ENGINEERING SERVICES.	- 347.30
EFT21541	25/11/2015	COLIN DUNCAN GRANT	CLEANING NORTHAM DISTRICT SES & CLEANING SHIRE DEPOT FIRE DEPT STORE PEEL TCE.	- 180.00
EFT21542	25/11/2015	COUNTRY ARTS WA	ANNUAL SUBSCRIBERS MEMBERSHIP FEE TO COUNTRY ARTS WA.	- 110.00
EFT21543	25/11/2015	COUNTRY COPIERS NORTHAM	PHOTOCOPIER SERVICE AT SHIRE ADMIN & LIBRARY.	- 2,450.89

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EFT21544	25/11/2015	COURIER AUSTRALIA	DELIVERY CHARGES FOR NOVEMBER 2015.	-	97.35
EFT21545	25/11/2015	DAMIAN'S PLUMBING	MAINTENANCE REPAIRS AT MULTIPLE SHIRE PROPERTIES.	-	1,505.90
EFT21546	25/11/2015	DENIS GRAHAM BERESFORD	REFUND OF DOG REGO.	-	75.00
EFT21547	25/11/2015	DS AGENCIES PTY	CUSTOM MADE PLATFORM BENCHES FOR ENGINEERING SERVICES.	-	12,430.00
EFT21548	25/11/2015	DUN & BRADSTREET AUSTRALIA	MGL SOLICITORS FEES & EXTERNAL SOLICITORS FEES FOR ASSORTED RATES PROPERTIES.	-	1,127.01
EFT21549	25/11/2015	E FIRE & SAFETY	SERVICE FIRE EQUIPMENT AT NORTHAM SHOWGROUNDS PAVILLION.	-	423.50
EFT21550	25/11/2015	EASTERN HILLS CRICKET CLUB INC	KIDSPORT FUNDING.	-	99.00
EFT21551	25/11/2015	EASTERN HILLS HORNETS TEEBALL & BASEBALL ASSOCIATION (INC)	KIDSPORT FUNDING.	-	300.00
EFT21552	25/11/2015	FM SURVEYS	NORTHAM SWIMMING POOLS GUTTER LEVELS.	-	264.00
EFT21553	25/11/2015	FRONTLINE FIRE & RESCUE EQUIPMENT	PPE EQUIPMENT FOR BRIGADES.	-	481.57
EFT21554	25/11/2015	GLENN STUART BEVERIDGE	MAINTENANCE WORK AT MULTIPLE SHIRE PROPERTIES.	-	1,450.00
EFT21555	25/11/2015	GRAFTON ELECTRICS	MAINTENANCE REPAIRS AT MULTIPLE SHIRE PROPERTIES.	-	3,995.21
EFT21556	25/11/2015	GREENWARD CONSULTING	SUBMISSION OF FINAL DRAFT LOCAL PLANNING POLICY FOR THE FITZGERALD STREET COMMERCIAL & CIVIC CENTRE HERITAGE PRECINCT.	-	3,308.40
EFT21557	25/11/2015	HAYLEY AYERS-FINDLAY	REIMBURSEMENT OF PETTY CASH ITEMS.	-	73.75
EFT21558	25/11/2015	HAYS SPECIALIST RECRUITMENT (AUSTRALIA) PTY LIMITED	PROFESSIONAL SERVICES PROVIDED BY CARY GREEN EXECUTIVE MANAGER CORPORATE SERVICES FOR THE WEEK ENDING 08/11/2015.	-	3,293.65
EFT21559	25/11/2015	HOLCIM AUSTRALIA PTY LTD	CONCRETE FOR INFORMATION BAY ON MITCHELL AVENUE.	-	1,315.60

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EFT21560	25/11/2015	HOST AUTO REPAIRS	REPAIRS TO MULTIPLE BRIGADES VEHICLES.	-	6,839.60
EFT21561	25/11/2015	HOUSE OF SHARDAY	STOCK PURCHASES FOR NORTHAM VISITOR CENTRE.	-	368.91
EFT21562	25/11/2015	INVISION SIGNS AND DESIGNS	BUSINESS CARDS & NAME BADGES FOR MULTIPLE SHIRE EMPLOYEES.	-	620.40
EFT21563	25/11/2015	JAYNE MCINNES	CLEANING OF SENIORS MEMORIAL HALL.	-	1,260.00
EFT21564	25/11/2015	JTAGZ PTY LTD	YELLOW 2018 DOG TAGS FOR DEVELOPMENT SERVICES.	-	92.40
EFT21565	25/11/2015	KARINA MCROBERTS	PERFORMANCE AT NORTHAM LIBRARY LUNCHTIME CONCERT SERIES.	-	50.00
EFT21566	25/11/2015	KATHERINE STEWART	STOCK PURCHASES FOR NORTHAM VISITOR CENTRE.	-	50.00
EFT21567	25/11/2015	KLEENWEST DISTRIBUTORS	ASSORTED CLEANING PRODUCTS FOR KILLARA.	-	568.48
EFT21568	25/11/2015	LANDGATE	RURAL UV'S CHARGEABLE SCHEDULE R2015/13 DATED: 09/09/2015 TO 18/09/2015 & GROSS RENTAL VALUATIONS CHARGEABLE SCHEDULE NO: G2015/10 DATED: 29/08/2015 TO 25/09/2015.	-	783.15
EFT21569	25/11/2015	LEISURE INSTITUTE OF W A AQUATICS	CONFERENCE & SEMINARS COUNTRY POOL MANAGERS SEMINAR & LIWA MEMBER REGISTRATION.	-	400.00
EFT21570	25/11/2015	LLOYDS EARTHMOVING	PLANTS FOR CITIZENSHIP CEREMONY.	-	33.00
EFT21571	25/11/2015	LOCAL GOVERNMENT MANAGERS AUSTRALIA WA DIVISION INC	CHARGES FOR WOMEN'S FORUM - STICKY FLOORS & GLASS CEALINGS.	-	1,990.00
EFT21572	25/11/2015	MAXXIA PTY LTD	PAYROLL DEDUCTIONS.	-	514.32
EFT21573	25/11/2015	MAYBERRY HAMMOND & CO	LEGAL COST FOR NORTHAM SPEEDWAY LEASE & DEVELOPMENT AGREEMENT.	-	220.00
EFT21574	25/11/2015	MCDOWALL AFFLECK PTY LTD	REVIEW OF DILAPIDATION SURVEY FOR CONSTRUCTION OF KING CREEK PROJECT.	-	858.00
EFT21575	25/11/2015	MCINTOSH & SONS	OUTER BEAM FOR HOWARD ROTOSLASHER - PN0911.	-	467.94

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EFT21576	25/11/2015	METRO BEVERAGE CO PTY LTD	DRINKS FOR NORTHAM REC CENTRE.	-	108.25
EFT21577	25/11/2015	MOORE STEPHENS (WA) PTY LTD	ROADS TO RECOVERY ANNUAL RETURN FOR THE YEAR ENDED 30/06/2015.	-	2,750.00
EFT21578	25/11/2015	NAVMAN WIRELESS PTY LTD	MONTHLY SATELITE SERVICE FEE.	-	703.56
EFT21579	25/11/2015	NORTHAM & DISTRICTS GLASS SERVICE	MEASURE & REGLAZE TIMBER WINDOWS AT NORTHAM REC CENTRE.	-	662.20
EFT21580	25/11/2015	NORTHAM CENTRAL NEWSAGENCY	NEWSPAPER DELIVERIES FOR SHIRE ADMIN FOR THE PERIOD 01/10/2015 TO 31/10/2015.	-	46.50
EFT21581	25/11/2015	NORTHAM COURIER SERVICE	DELIVERY CHARGES FOR NOVEMBER 2015.	-	80.30
EFT21582	25/11/2015	NORTHAM FEED & HIRE	FOOD FOR THE UPKEEP OF THE SWANS.	-	228.00
EFT21583	25/11/2015	NORTHAM MITRE 10 SOLUTIONS	ASSORTED ITEMS FOR MAINTENANCE REPAIRS.	-	968.12
EFT21584	25/11/2015	NORTHAM TYREPOWER	REPLACE FRONT TYRE ON FUSO WATER TRUCK N007.	-	751.92
EFT21585	25/11/2015	NORTHAM WADO RYU KARATE CLUB	REFUND ON BOOKING FEE.	-	30.00
EFT21586	25/11/2015	OLLY'S CAR & FURNITURE UPHOLSTERY'S	REPAIR OF SHADE SAIL FOR NORTHAM SWIMMING POOL.	-	880.00
EFT21587	25/11/2015	OXTER SERVICES	ASSORTED CLEANING ITEMS FOR SHIRE ADMIN & NORTHAM VISITOR CENTRE & CEMETERY INVOICING FOR OCTOBER 2015.	-	9,388.51
EFT21588	25/11/2015	PAULL & WARNER BODY BUILDERS PTY LTD	MAINTENANCE ITEMS FOR SES STORM DAMAGE TEAM TO USE IN ROOF SAFETY SYSTEMS.	-	921.67
EFT21589	25/11/2015	PBF AUSTRALIA	PBF CORPORATE MEMBERSHIP.	-	3,500.00
EFT21590	25/11/2015	PRESTIGE ALARMS	SECURITY MONITORING FOR SHIRE ADMIN BUILDING FOR THE PERIOD 01/12/2015 TO 29/02/2016.	-	115.00
EFT21591	25/11/2015	PRIME MEDIA GROUP	NORTHAM ADVERT SERIES FOR THE PERIOD 09/10/2015 TO 26/10/2015.	-	1,267.20
EFT21592	25/11/2015	PROFESSIONAL LOCKSERVICE	KEYS FOR BAKERS HILL PAVILION, OLD GIRLS SCHOOL, NORTHAM POOL & WUNDOWIE POOL.	-	181.50

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EFT21593	25/11/2015	PUBLIC TRANSPORT AUTHORITY OF WESTERN AUSTRALIA (TRANS WA)	TICKET SALES FOR AVONLINK FOR THE MONTH ENDING OCTOBER 2015.	-	26.58
EFT21594	25/11/2015	QUAD SERVICES PTY LTD	CLEANING OF MULTIPLE SHIRE BUILDING DURING OCTOBER 2015.	-	3,697.13
EFT21595	25/11/2015	QUIN'S GOURMET BUTCHERS	PURCHASE OF ASSORTED MEATS FOR KILLARA.	-	484.00
EFT21596	25/11/2015	RADIOWEST BROADCASTERS PTY LTD	RADIO ADS FOR FOOTPATH CONSTRUCTION PROGRAM FROM 13/10/2015 TO 31/10/2015.	-	1,482.80
EFT21597	25/11/2015	RED DOT STORES	ASSORTED CRAFT ITEMS FOR EVENTS AT NORTHAM LIBRARY.	-	197.20
EFT21598	25/11/2015	RETAIL DECISIONS (COLES)	COLES EXPENSES FOR THE MONTH OF OCTOBER 2015.	-	2,578.23
EFT21599	25/11/2015	RETECH RUBBER	LONG JUMP RUNWAY FOR HENRY STREET OVAL.	-	6,344.14
EFT21600	25/11/2015	RICOH AUSTRALIA	PRINTER CARTRIDGE FOR LICENCING PRINTER.	-	172.70
EFT21601	25/11/2015	ROAD AND TRAFFIC SERVICES	PAVEMENT MARKINGS FOR RAILWAY MUSEUM.	-	874.50
EFT21602	25/11/2015	ROAD SIGNS AUSTRALIA	ASSORTED STREET SIGNS FOR ENGINEERING SERVICES.	-	1,329.90
EFT21603	25/11/2015	ROADSWEST ENGINEERING GROUP WA PTY LTD	PROVISION OF BRIDGE INSPECTION SERVICES.	-	17,083.00
EFT21604	25/11/2015	RURAL PRESS REGIONAL MEDIA (WA) PTY LTD	ASSORTED ADVERTISEMENTS IN THE AVON VALLEY ADVOCATE IN SEPTEMBER & OCTOBER 2015.	-	8,543.56
EFT21605	25/11/2015	SANTALEUCA FORESTRY	STOCK PURCHASES FOR NORTHAM VISITOR CENTRE.	-	237.35
EFT21606	25/11/2015	SETH WILLIAM TUCKER T/A TUCKERBUILT	MAINTENANCE WORK COMPLETED AT THE OLD TRAIN STATION.	-	1,936.00
EFT21607	25/11/2015	SILVER WINGS SENIOR CITIZENS GROUP INC	COMMUNITY PROJECT GRANT.	-	1,750.00
EFT21608	25/11/2015	SKILL HIRE WA PTY LTD	PROFESSIONAL SERVICES PROVIDED FOR ENGINEERING SERVICES IN OCTOBER 2015.	-	8,821.45
EFT21609	25/11/2015	SLAV'S CLEANING SERVICE	CLEANING SERVICES AT MULTIPLE SHIRE PROPERTIES.	-	8,763.01

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EFT21610	25/11/2015	SPENCERS BROOK PROGRESS ASSOCIATION	ANNUAL BUDGET ALLOCATION.	-	6,930.00
EFT21611	25/11/2015	SPORTS SURFACES	SYNTHETIC TURF TO NEW MATCH WICKET AT JUBILEE OVAL.	-	4,796.00
EFT21612	25/11/2015	SPORTSPOWER NORTHAM	UNIFORMS FOR RECREATION CENTRE EMPLOYEES.	-	159.60
EFT21613	25/11/2015	STAPLES AUSTRALIA PTY LIMITED	STATIONARY ITEMS FOR ADMIN.	-	189.33
EFT21614	25/11/2015	STATE LIBRARY OF WESTERN AUSTRALIA	LOST ITEM FEES FOR WUNDOWIE LIBRARY.	-	70.40
EFT21615	25/11/2015	STERIHEALTH SERVICES PTY LTD	EMPTY SHARPS SAFES AT BERNARD PARK & APEX PARK TOILETS FOR OCTOBER 2015.	-	236.08
EFT21616	25/11/2015	STEWART & HEATON CLOTHING CO.PTY LTD	PPE EQUIPMENT FOR THE SES.	-	283.10
EFT21617	25/11/2015	SUPERCIVIL	KERB MAINTENANCE AT MULTIPLE LOCATIONS.	-	32,076.82
EFT21618	25/11/2015	THE LIMES ORCHARD STAY - PT & JA PERKINS	STOCK PURCHASES FOR THE NORTHAM VISITOR CENTRE.	-	67.20
EFT21619	25/11/2015	THE PAPER COMPANY OF AUSTRALIA	ENVELOPES FOR SHIRE ADMIN.	-	189.97
EFT21620	25/11/2015	TRACEY PEARCE	FUEL REIMBURSEMENT DUE TO FUEL CARD NOT WORKING.	-	88.20
EFT21621	25/11/2015	TRISLEY'S HYDRAULIC SERVICES PTY LTD	SERVICE WORK INVESTIGATION WITH FAULTY PRO CAL UNIT.	-	330.00
EFT21622	25/11/2015	VERNICE PTY LTD	SORTING OUT BURNT GREEN WASTE PILES AT THE INKPEN ROAD LANDFILL SITE.	-	2,964.50
EFT21623	25/11/2015	VICTORIA JONES	REIMBURSEMENT FOR JUICE PURCHASED FOR SENIORS WEEK EVENT.	-	24.00
EFT21624	25/11/2015	VODAFONE	IRISHTOWN BRIGADE & SES MESSAGING SERVICE FOR THE PERIOD 01/11/2015 TO 30/11/2015.	-	252.21
EFT21625	25/11/2015	WA CONTRACT RANGER SERVICES	CHARGES FOR CAT IMPOUND & TEMPORARY CARE FOR OCTOBER 2015.	-	605.00
EFT21626	25/11/2015	WESTERN AUSTRALIAN TREASURY CORPORATION	LOAN NO. 221 INTEREST PAYMENT - AIRSTRIP UPGRADE.	-	6,951.22

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EFT21627	25/11/2015	WESTWATER ENTERPRISES PTY LTD	SERVICE OF THE NORTHAM WASTE WATER TREATMENT PLANT.	-	3,841.09
EFT21628	25/11/2015	WHEATBELT SAFETYWEAR	PPE EQUIPMENT FOR ENGINEERING SERVICES.	-	266.00
			<b>SUB TOTAL EFT MUNICIPAL</b>	-	<b>383,600.87</b>
34344	09/11/2015	AUSTRALIAN SERVICES UNION	PAYROLL DEDUCTIONS.	-	25.80
34345	09/11/2015	LOCAL GOVERNMENT AND RACECOURSE EMPLOYEES UNION	PAYROLL DEDUCTIONS.	-	41.00
34346	09/11/2015	PETTY CASH	REIMBURSEMENT FOR THE LIBRARY FOR THE PERIOD 21/8/2015 TO 07/10/2015.	-	97.80
34347	09/11/2015	SYNERGY	ELECTRICITY ACCOUNT FOR ASSORTED SHIRE PROPERTIES FOR THE PERIOD 13/8/2015 TO 15/10/2015.	-	4,736.30
34348	09/11/2015	TELSTRA CORPORATION	TELEPHONE FOR NORTHAM SES FOR THE PERIOD 15/9/2015 TO 14/10/2015.	-	39.95
34349	09/11/2015	WATER CORPORATION	WATER USE & SERVICE CHARGE FOR ASSORTED SHIRE PROPERTIES FOR THE PERIOD 30/9/2015 TO 23/10/2015.	-	11,148.96
34350	13/11/2015	CITY OF BUNBURY	REGISTRATION FOR 2015 SWLGEMA CONFERENCE.	-	150.00
34351	13/11/2015	COMMISSIONER OF POLICE	APPLICATION FOR CHRISTMAS EVENT ROAD CLOSURE.	-	79.80
34352	13/11/2015	GOODEARTH HOTEL	ACCOMMODATION FOR KILLARA EMPLOYEES TO ATTEND HACC PROGRAM.	-	430.00
34353	13/11/2015	LUCY'S TEAROOMS	CATERING FOR MULTIPLE SHIRE MEETINGS.	-	323.00
34354	13/11/2015	NORTHAM BETTA HOME LIVING	ASSORTED ITEMS FOR NORTHAM DEPOT & GRASS VALLEY FIRE SHED.	-	241.95
34355	13/11/2015	NORTHAM LAWN TENNIS CLUB	COMMUNITY GRANT SPONSORSHIP.	-	500.00
	13/11/2015	NORTHAM TOY & BIKE WORLD	GAME FOR NORTHAM LIBRARY PROGRAMMES.	-	44.91
34357	13/11/2015	PERFECT COMPUTER SOLUTIONS PTY LTD	COMPUTER FOR NEW TRAINEE DRAFTSPERSON.	-	1,475.00
34358	13/11/2015	SHIRE OF NORTHAM	PAYROLL DEDUCTIONS.	-	1,511.75

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34359	13/11/2015	SYNERGY	ELECTRICITY ACCOUNT FOR ASSORTED SHIRE PROPERTIES FOR THE PERIOD 15/08/2015 TO 02/11/2015.	- 48,545.00
34360	13/11/2015	TELSTRA CORPORATION	MOBILE TELEPHONE ACCOUNT FOR THE PERIOD 25/10/2015 TO 24/11/2015 & PHONE ACCOUNT BAKERS HILL BFB FOR THE PERIOD 01/10/2015 TO 22/11/2015.	- 1,322.31
34361	13/11/2015	WATER CORPORATION	WATER USE & SERVICE CHARGES FOR ASSORTED SHIRE PROPERTIES FOR THE PERIOD 14/8/2015 TO 02/11/2015.	- 4,476.60
34362	13/11/2015	SHIRE OF NORTHAM	12 MONTH LICENCE & THIRD PARTY INSURANCE ON MULTIPLE VEHICLES.	- 50.20
34363	25/11/2015	AUSTRALIAN SERVICES UNION	PAYROLL DEDUCTIONS.	- 25.80
34364	25/11/2015	AVONVALE EDUCATION SUPPORT CENTRE	DONATION TOWARDS THE STUDENTS END OF YEAR AWARDS/GRADUATION.	- 200.00
34365	25/11/2015	HEATH JARROD TRENORDEN	CROSSOVER REBATE.	- 600.00
34366	25/11/2015	LOCAL GOVERNMENT AND RACECOURSE EMPLOYEES UNION	PAYROLL DEDUCTIONS.	- 41.00
34367	25/11/2015	LUCY'S TEAROOMS	CATERING FOR MULTIPLE SHIRE MEETINGS & EVENTS.	- 1,074.00
34368	25/11/2015	NORTHAM BETTA HOME LIVING	VACUUM CLEANER FOR RANGER SERVICE & ITEMS FOR THE HEALTH & WELL BEING PROGRAMME.	- 245.00
34369	25/11/2015	NORTHAM FAMILY PRACTICE	PRE-EMPLOYMENT MEDICAL FOR MICHAEL NEWTON.	- 236.50
34370	25/11/2015	NORTHAM HARDWARE	PPE EQUIPMENT FOR GRASS VALLEY BRIGADES.	- 75.00
34371	25/11/2015	NORTHAM YOUTHCARE COUNCIL	DONATION - SUPPORT FOR CHAPLAINCY IN SCHOOLS.	- 1,000.00
34372	25/11/2015	PETTY CASH	PETTY CASH REIMBURSEMENT FOR THE LIBRARY FROM 23/9/2015 TO 12/11/2015 & DEPOT FROM AUGUST TO NOVEMBER 2015.	- 180.40
34373	25/11/2015	PFD FOOD SERVICES PTY LTD	ASSORTED FOOD ITEMS FOR KILLARA.	- 226.90

**SHIRE OF NORTHAM**  
**AGENDA**  
**COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015**

34374	25/11/2015	SHANE PARKER	REIMBURSEMENT FOR DAMAGES TO VEHICLE.	- 280.00
34375	25/11/2015	SHIRE OF NORTHAM	PAYROLL DEDUCTIONS.	- 1,300.00
34376	25/11/2015	SYNERGY	ELECTRICITY ACCOUNT FOR ASSORTED SHIRE PROPERTIES FOR THE PERIOD 31/08/2015 TO 05/11/2015.	- 3,026.00
34377	25/11/2015	TELSTRA CORPORATION	LANDLINE ACCOUNT FOR OCTOBER 2015 & TELEPHONE FOR SES FOR THE PERIOD 15/10/2015 TO 04/12/2015.	- 5,531.25
34378	25/11/2015	TPS TOTAL PAINTING SERVICES	PAINTING INTERIOR & EXTERIOR DAMAGED WALLS, WINDOWS, DOORS & FRAMES AT OLD GIRLS SCHOOL.	- 4,950.00
34379	25/11/2015	WATER CORPORATION	WATER USE & SERVICE CHARGES FOR ASSORTED SHIRE PROPERTIES FOR THE PERIOD 09/09/2015 TO 30/11/2015.	- 8,348.30
			<b>TOTAL MUNICIPAL CHEQUES</b>	<b>- 102,580.48</b>
DD9198.1	03/11/2015	TENNANT AUSTRALIA	LEASING FEE CLEANING EQUIPMENT NORTHAM RECREATION CENTRE NOVEMBER 2015	- 1,067.00
DD9202.1	03/11/2015	WA SUPER	PAYROLL DEDUCTIONS.	- 24,857.09
DD9202.2	03/11/2015	SUNSUPER	SUPERANNUATION CONTRIBUTIONS.	- 226.52
DD9202.3	03/11/2015	AMG UNIVERSAL SUPER	SUPERANNUATION CONTRIBUTIONS.	- 345.32
DD9202.4	03/11/2015	PRIME SUPER	SUPERANNUATION CONTRIBUTIONS.	- 82.02
DD9202.5	03/11/2015	COLONIAL FIRST STATE SUPERANNUATION	SUPERANNUATION CONTRIBUTIONS.	- 204.47
DD9202.6	03/11/2015	COMMONWEALTH BANK GROUP SUPER	SUPERANNUATION CONTRIBUTIONS.	- 100.90
DD9202.7	03/11/2015	QSUPER	SUPERANNUATION CONTRIBUTIONS.	- 180.73
DD9202.8	03/11/2015	MACAULAY SUPERANNUATION FUND	SUPERANNUATION CONTRIBUTIONS.	- 178.10
DD9202.9	03/11/2015	AUSTRALIAN SUPER PTY LTD	SUPERANNUATION CONTRIBUTIONS.	- 2,240.98
DD9228.1	11/11/2015	BANKWEST	CLINTON KLEYNHANS MASTERCARD 23/9/15 TO 22/10/15.	- 1,316.97
DD9228.1	11/11/2015	BANKWEST	CHADD HUNT MASTERCARD 23/9/15 TO 22/10/15.	- 133.70

**SHIRE OF NORTHAM**  
**AGENDA**  
**COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015**

DD9228.1	11/11/2015	BANKWEST	JOHN ERIC HANSEN MASTERCARD 23/9/15 TO 22/10/15.	-	515.35
DD9228.1	11/11/2015	BANKWEST	ROSS RAYSON MASTERCARD 23/9/15 TO 22/10/15.	-	358.92
DD9228.1	11/11/2015	BANKWEST	JASON BRIAN WHITEAKER MASTERCARD 23/9/15 TO 22/10/15.	-	260.16
DD9258.1	17/11/2015	WA SUPER	PAYROLL DEDUCTIONS.	-	23,944.75
DD9258.2	17/11/2015	EWRAP SUPER	SUPERANNUATION CONTRIBUTIONS.	-	111.25
DD9258.3	17/11/2015	SUNSUPER	SUPERANNUATION CONTRIBUTIONS.	-	226.52
DD9258.4	17/11/2015	AMG UNIVERSAL SUPER	SUPERANNUATION CONTRIBUTIONS.	-	345.32
DD9258.5	17/11/2015	COLONIAL FIRST STATE SUPERANNUATION	SUPERANNUATION CONTRIBUTIONS.	-	68.61
DD9258.6	17/11/2015	COMMONWEALTH BANK GROUP SUPER	SUPERANNUATION CONTRIBUTIONS.	-	88.59
DD9258.7	17/11/2015	QSUPER	SUPERANNUATION CONTRIBUTIONS.	-	180.73
DD9258.8	17/11/2015	MACAULAY SUPERANNUATION FUND	SUPERANNUATION CONTRIBUTIONS.	-	202.76
DD9258.9	17/11/2015	HESTA SUPER FUND	SUPERANNUATION CONTRIBUTIONS.	-	52.48
DD9268.1	17/11/2015	WA SUPER	SUPERANNUATION CONTRIBUTIONS.	-	178.79
DD9202.10	03/11/2015	REST INDUSTRY SUPER	SUPERANNUATION CONTRIBUTIONS.	-	383.50
DD9202.11	03/11/2015	CONCEPT ONE THE INDUSTRY SUPERANNUATION FUND	SUPERANNUATION CONTRIBUTIONS.	-	183.85
DD9202.12	03/11/2015	ZURICH AUSTRALIA LIMITED	SUPERANNUATION CONTRIBUTIONS.	-	244.42
DD9202.13	03/11/2015	BT SUPER FOR LIFE	SUPERANNUATION CONTRIBUTIONS.	-	521.95
DD9202.14	03/11/2015	(THE QUEENSLAND LOCAL GOVERNMENT SUPERANNUATION BOARD) LG SUPER	SUPERANNUATION CONTRIBUTIONS.	-	266.73
DD9202.15	03/11/2015	AMP LIFE LIMITED	SUPERANNUATION CONTRIBUTIONS.	-	255.77
DD9202.16	03/11/2015	EWRAP SUPER	SUPERANNUATION CONTRIBUTIONS.	-	89.62
DD9258.10	17/11/2015	AUSTRALIAN SUPER PTY LTD	SUPERANNUATION CONTRIBUTIONS.	-	2,144.81
DD9258.11	17/11/2015	REST INDUSTRY SUPER	SUPERANNUATION CONTRIBUTIONS.	-	500.71

**SHIRE OF NORTHAM**  
**AGENDA**  
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DD9258.12	17/11/2015	CONCEPT ONE THE INDUSTRY SUPERANNUATION FUND	SUPERANNUATION CONTRIBUTIONS.	-	183.85
DD9258.13	17/11/2015	ZURICH AUSTRALIA LIMITED	SUPERANNUATION CONTRIBUTIONS.	-	244.42
DD9258.14	17/11/2015	BT SUPER FOR LIFE	SUPERANNUATION CONTRIBUTIONS.	-	521.95
DD9258.15	17/11/2015	(THE QUEENSLAND LOCAL GOVERNMENT SUPERANNUATION BOARD) LG SUPER	SUPERANNUATION CONTRIBUTIONS.	-	266.73
DD9258.16	17/11/2015	AMP LIFE LIMITED	SUPERANNUATION CONTRIBUTIONS.	-	255.77
			<b>TOTAL DIRECT DEBIT</b>	-	<b>63,532.11</b>
PAYROLL	05/11/2015	SHIRE OF NORTHAM MAIN PAY RUN	SHIRE OF NORTHAM EMPLOYEES PAYROLL.	-	195,439.12
PAYROLL	19/11/2015	SHIRE OF NORTHAM MAIN PAY RUN	SHIRE OF NORTHAM EMPLOYEES PAYROLL.	-	188,272.36
PAYROLL	23/11/2015	SHIRE OF NORTHAM ONE OFF PAY RUN	SHIRE OF NORTHAM ONE OFF EMPLOYEE PAYROLL	-	1,773.43
			<b>TOTAL PAYROLL</b>	-	<b>385,484.91</b>
			<b>TOTAL EFT MUNICIPAL</b>	-\$	<b>848,695.41</b>
			<b>TOTAL EFT TRUST</b>	-\$	<b>2,980.00</b>
			<b>TOTAL CHEQUE MUNICIPAL</b>	-\$	<b>102,580.48</b>
			<b>TOTAL CHEQUE TRUST</b>	-\$	<b>3,886.35</b>
			<b>TOTAL DIRECT DEBIT</b>	-\$	<b>63,532.11</b>
			<b>TOTAL PAYROLL</b>	-\$	<b>385,484.91</b>
			<b>TOTAL</b>	-\$	<b>1,407,159.26</b>

**SHIRE OF NORTHAM**  
**AGENDA**  
**COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015**

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The payment of cheque numbers 34344 to 34379 from Municipal Fund (dated 1<sup>st</sup> November 2015 to 30<sup>th</sup> November 2015), the payment of trust cheque numbers 1930 to 1936 from the Trust Fund and the payment of Electronic Funds Transfer numbers EFT21345 to EFT21496 and EFT21503 to EFT21503 and EFT21506 to EFT21628 (dated 1<sup>st</sup> November 2015 to 30<sup>th</sup> November 2015). EFT Trust Fund EFT21497 to EFT21502 and EFT21504 to EFT21505 and Direct Debits 9198.1 and 9202.1 to 9202.16 and 9228.1 and 9258.1 to 9258.16 and 9268.1 have been made in accordance with delegated authority reference number (M/F/F/Regs LGA 1995 S5.42)

Municipal Bank Vouchers 34344 to 34379	\$ 102,580.48
Trust Bank Vouchers 1930 to 1936	\$ 3,886.35
Municipal Bank Electronic Fund Transfer EFT21345 to EFT21496 and EFT21503 to EFT21503 and EFT21506 to 21628	\$ 848,695.41
Trust Bank Electronic Fund Transfer EFT21497 to EFT21502 and EFT21504 to EFT21505	\$ 2,980.00
Direct Debit Fund Transfer 9198.1 and 9202.1 to 9202.16 and 9228.1 and 9258.1 to 9258.16 and 9268.1	\$ 63,532.11
Municipal Bank Electronic Fund Transfer Payroll 05/11/2015	\$ 195,439.12
Municipal Bank Electronic Fund Transfer Payroll 19/11/2015	\$ 188,272.36
Municipal Bank Electronic Fund Transfer Payroll 23/11/2015	\$ 1,773.43
 TOTAL	 \$1,407,159.26

**CERTIFICATION OF THE PRESIDENT**

I hereby certify that this schedule of account covering Vouchers and Electronic Funds Transfer payments as per above and totalling \$1,407,159.26 was submitted to the Ordinary Meeting of Council on Wednesday, 16 December 2015.

\_\_\_\_\_ CERTIFICATION OF THE PRESIDENT

**CERTIFICATE OF THE CHIEF EXECUTIVE OFFICER**

This schedule of accounts paid covering Vouchers and Electronic Funds Transfer payments as per above and totalling \$1,407,159.26 was submitted to each member of the Council on Wednesday, 16 December 2015, has been checked and is fully supported by vouchers and invoices which are submitted herewith and which have been duly certified as to the receipt of goods and the rendition of services and as to prices, computations and casting and the amounts shown are due for payment.

\_\_\_\_\_ CHIEF EXECUTIVE OFFICER

**SHIRE OF NORTHAM**  
**AGENDA**  
**COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015**

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**13.3.2 FINANCIAL STATEMENTS TO 31 OCTOBER 2015**

Name of Applicant:	Internal Report
File Ref:	2.1.3.4
Officer:	Zoe Macdonald / Cary Green
Officer Interest:	Nil
Policy:	Nil
Voting:	Simple Majority
Date:	16 December 2015

**PURPOSE**

The Statement of Financial Activity for the period ending 31 October 2015 is included as a separate attachment to this Agenda and includes the following reports:

- Statement of Financial Activity;
- Acquisition of Assets;
- Disposal of Assets;
- Information on Borrowings;
- Reserves;
- Net Current Assets;
- Rating Information;
- Trust Funds;
- Operating Statements;
- Balance Sheet;
- Financial Ratio;
- Budget to Actual Material Variance; and
- Bank Reconciliation

**RECOMMENDATION**

**That Council receive the Financial Statements, prepared in accordance with the Local Government (Financial Management) Regulations, for the period ended 31 October 2015.**

**SHIRE OF NORTHAM**  
**AGENDA**  
**COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015**

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**SHIRE OF NORTHAM**  
**MONTHLY STATEMENT OF FINANCIAL ACTIVITY**  
**FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015**

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# SHIRE OF NORTHAM

## AGENDA

### COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015

**SHIRE OF NORTHAM  
STATEMENT OF FINANCIAL ACTIVITY  
FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015**

	NOTE	October 2015 Actual \$	October 2015 Y-T-D Budget \$	Projected 2015/2016 Budget \$	Variances Actuals to Budget \$	Variances Actual Budget to Y-T-D %
<b><u>Operating</u></b>						
<b>Revenues/Sources</b>	8					
Governance		46,689	18,248	54,800	28,441	155.86%
General Purpose Funding Other		445,876	593,226	2,190,082	(147,350)	(24.84%)
General Purpose Funding Rates		8,549,998	2,860,440	8,582,323	5,689,558	198.91%
Law, Order, Public Safety		79,266	347,996	1,044,095	(268,730)	(77.22%)
Health		4,274	16,664	50,000	(12,390)	(74.35%)
Education and Welfare		564,870	444,332	1,333,066	120,538	27.13%
Housing		12,415	15,480	46,465	(3,065)	(19.80%)
Community Amenities		1,807,528	823,272	2,469,929	984,256	119.55%
Recreation and Culture		100,800	1,007,676	3,023,244	(906,876)	(90.00%)
Transport		503,588	519,717	2,277,699	(16,129)	(3.10%)
Economic Services		104,544	191,412	574,419	(86,868)	(45.38%)
Other Property and Services		50,382	18,056	54,200	32,326	179.03%
		<u>12,270,230</u>	<u>6,856,519</u>	<u>21,700,322</u>	<u>5,413,711</u>	<u>78.96%</u>
<b>(Expenses)/(Applications)</b>	8					
Governance		(419,758)	(441,107)	(1,201,997)	21,349	4.84%
General Purpose Funding		(86,117)	(121,612)	(364,868)	35,495	29.19%
Law, Order, Public Safety		(352,648)	(394,275)	(1,131,201)	41,627	10.56%
Health		(123,662)	(102,378)	(296,919)	(21,284)	(20.79%)
Education and Welfare		(447,698)	(503,143)	(1,502,295)	55,445	11.02%
Housing		(32,071)	(37,233)	(105,856)	5,162	13.86%
Community Amenities		(885,144)	(1,142,595)	(3,419,277)	257,451	22.53%
Recreation & Culture		(1,490,760)	(1,510,611)	(4,285,143)	19,851	1.31%
Transport		(2,851,202)	(1,752,876)	(4,760,181)	(1,098,326)	(62.66%)
Economic Services		(683,818)	(745,179)	(2,036,106)	61,361	8.23%
Other Property and Services		(176,718)	(60,368)	(27,040)	(116,350)	(192.73%)
		<u>(7,549,596)</u>	<u>(6,811,377)</u>	<u>(19,130,883)</u>	<u>(738,219)</u>	<u>10.84%</u>
<b><u>Adjustments for Non-Cash (Revenue) and Expenditure</u></b>						
(Profit)/Loss on Asset Disposals	2	0	48,010	144,029	(48,010)	100.00%
Movement in Accrued Interest		0	0	0	0	0.00%
Movement in Accrued Salaries and Wages		0	0	0	0	0.00%
Movement in Deferred Pensioner Rates/ESL		0	0	0	0	0.00%
Movement in Employee Benefit Provisions		(66,072)	0	0	(66,072)	0.00%
Depreciation on Assets		2,507,001	1,087,852	3,263,710	1,419,149	(130.45%)
<b><u>Capital Revenue and (Expenditure)</u></b>						
Purchase Land Held for Resale	1	0	0	0	0	0.00%
Purchase Land and Buildings	1	(19,600)	(3,402,847)	(3,402,847)	3,383,247	99.42%
Purchase Plant and Equipment	1	(456,884)	(1,279,054)	(1,279,054)	822,170	64.28%
Purchase Furniture and Equipment	1	0	0	0	0	#DIV/0!
Purchase Bush Fire Equipment	1	0	(460,000)	(460,000)	460,000	100.00%
Purchase Playground Equipment	1	0	0	0	0	0.00%
Purchase Infrastructure Assets - Roads	1	(357,654)	(3,350,383)	(3,350,383)	2,992,729	89.32%
Purchase Infrastructure Assets - Bridges	1	0	0	(260,000)	0	
Purchase Infrastructure Assets - Footpaths	1	(71,484)	(176,732)	(611,151)	105,248	59.55%
Purchase Infrastructure Assets - Drainage	1	(286,963)	(1,010,772)	(1,010,772)	723,809	0.00%
Purchase Infrastructure Assets - Parks & Ovals	1	(375,309)	(649,264)	(649,264)	273,955	42.19%
Purchase Infrastructure Assets - Airfields	1	0	0	0	0	#DIV/0!
Purchase Infrastructure Assets - Streetscape	1	(75,635)	(88,116)	(264,371)	12,481	14.16%
Purchase Infrastructure Assets - Other	1	(134,629)	(410,042)	(410,042)	275,413	67.17%
Proceeds from Disposal of Assets	2	0	114,881	344,642	(114,881)	100.00%
Repayment of Debentures	3	(97,684)	(70,040)	(210,154)	(27,644)	(39.47%)
Proceeds from New Debentures	3	0	0	0	0	0.00%
Advances to Community Groups		0	0	0	0	0.00%
Self-Supporting Loan Principal Income	3	14,821	10,033	30,099	4,788	0.00%
Transfers to Restricted Assets (Reserves)	4	(42,493)	(963,385)	(963,385)	920,892	95.59%
Transfers from Restricted Asset (Reserves)	4	0	1,858,061	1,858,061	(1,858,061)	0.00%
Transfers from Restricted Asset (Other)		0	0	0	0	#DIV/0!
ADD Net Current Assets July 1 B/Fwd	5	5,911,724	5,911,724	5,919,675	0	0.00%
LESS Net Current Assets Year to Date	5	<u>11,239,260</u>	<u>4,024</u>	<u>4,024</u>	<u>11,235,236</u>	<u>279205.66%</u>
<b>Amount Raised from Rates</b>	6	<u>65,142</u>	<u>(2,788,956)</u>	<u>1,254,208</u>	<u>2,854,099</u>	<u>(102.34%)</u>

This statement is to be read in conjunction with the accompanying notes.

**SHIRE OF NORTHAM**  
**AGENDA**  
**COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015**

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SHIRE OF NORTHAM

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

	October 2015 Actual \$	2015/2016 Budget \$
<b>1. ACQUISITION OF ASSETS</b>		
The following assets have been acquired during the period under review:		
<b><u>By Program</u></b>		
<b>Governance</b>		
CEO Vehicle	0	55,000
<b>Law, Order &amp; Public Safety</b>		
CESM Vehicle	33,115	40,000
Brigade Appliance -3.4 Grass Valley	0	335,000
Brigade Appliance - Light Tanker Irishtown BFB	0	125,000
Inkpen Fireshed	0	280,851
Clackline/Muresk Fire Shed	4,529	51,975
Electronic Conversion of Standpipe	0	12,500
Ranger Vehicle	0	35,000
Ranger Vehicle	0	25,000
CCTV - Fitzgerald St & Peel Tce	0	24,200
<b>Health</b>		
Snr EHO Vehicle	0	35,000
<b>Education &amp; Welfare</b>		
NRCP Vehicle	31,454	38,500
Fluffy Ducks Patio & Power Relocation	0	10,455
Land & Buildings - Respite Centre Construction	13,821	19,852
<b>Community Amenities</b>		
Gate House - Inkpen Landfill	0	10,000
Drainage - Bernard Park Supertowns	4,015	(916,182)
Drainage - Town Centre Stage 2	0.0	1,027,386
Area Drainage	58,540.7	459,335
Aerators - Supertowns	63,865	241,123
Snr EHO Vehicle	40,271	35,000
Avon Mall Streetscaping	11,950	148,138
Buildings Cemetery	0	0
Cemetery Drainage	0	2,769
Cemetery Lot Development	0	18,600

**SHIRE OF NORTHAM**  
**AGENDA**  
**COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015**

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SHIRE OF NORTHAM

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

	October 2015 Actual \$	2015/2016 Budget \$
<b>1. ACQUISITION OF ASSETS (Continued)</b>		
<b><u>By Program (Continued)</u></b>		
<b>Recreation and Culture</b>		
Land & Building - Replace Balcony	0	178,200
Northam Pool Bowl Tiles	0	14,000
Filter - Wundowie Pool	0	24,600
Rec Centre Air Conditioning	0	500,000
Rec Centre Additional Exit Doors	0	25,000
Bakers Hill Golf & Tennis - Kitchen	0	60,365
EMComms Vehicle	39,482	40,000
George Nuich park Playground/ Shade	114,473	85,895
Play Equipment Wundowie	0	9,796
Play Equipment Jubilee Oval	0	0
Install Cricket Pitch - Jubilee Oval	13,360	27,000
Henry Street Oval Fencing WAFL Grant	0	3,223
Free Standing Stackable Seating	0	3,580
BMX Lighting	0	20,000
Bert Hawke Drainage	0	40,000
Bert Hawke Lighting	0	20,000
Wundowie Skate park	135,771	194,032
Henry Street Oval Drainage	0	6,780
Playground POS Improvements	91,696	178,069
Parks Seating & Play Equipment	5,757	40,000
Retic Wundowie Oval	14,252	20,889
Drink Fountain - Rec Centre	5,280	5,500
Railway Precinct Upgrade	0	49,284
AVVVA - Building Renewal	0	42,000
AVVVA - Kitchen Refurbishment	0	36,365
Aboriginal & Environmental Building	0	2,100,000
Carpark/ Drop Zone Old Railway Station	36,252	70,376

**SHIRE OF NORTHAM**  
**AGENDA**  
**COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015**

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SHIRE OF NORTHAM

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

	October 2015 Actual \$	2015/2016 Budget \$
<b>1. ACQUISITION OF ASSETS (Continued)</b>		
<b><u>By Program (Continued)</u></b>		
<b>Transport</b>		
Northam Depot Relocation Feasibility	0	10,000
Footpath Construction	71,409	530,253
Rural Drainage	0	106,570
GEH Deproclamation Funds	0	60,726
Southern Brook Road RRG 15/16	4,855	249,244
Jennapullin Road RRG 15/16	0	82,067
Roadworks - General Construction	158,459	596,917
Bridge Construction	0	260,000
Roadworks - Roads to Recovery	2,111	1,158,217
Roadworks - Supplementary Funding	0	237,917
Laneway Land Acquisition	1,250	28,500
Roadworks - Blackspot Funding	17,344	223,556
Infra Development - Super Towns	0	14,962
Roadworks - Gravel Sheeting	161,725	619,203
Kerb Renewal	8,211	107,574
Culvert Renewal	4,950	46,018
Footpath Renewal	75	80,898
Plant & Equipment - Road Plant Purchases	312,562	915,554
<b>Economic Services</b>		
Christmas Decorations	9,113	17,436
Information Bays	27,433	35,857
Signs Tower - GEH	0	10,000
Building Mtc Supervisor Vehicle	0	25,000
Snr Building Surveyor Vehicle	0	35,000
Bakers Hill Water Project	25,616	25,000
Wundowie Stormwater Harvest	198,791	262,645
Car Park Medical Centre	56,372	49,314
	1,778,157	11,697,884

**SHIRE OF NORTHAM**  
**AGENDA**  
**COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015**

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SHIRE OF NORTHAM

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

	October 2015 Actual \$	2015/2016 Budget \$
<b>1. ACQUISITION OF ASSETS (Continued)</b>		
<b><u>By Class</u></b>		
Land Held for Resale	0	0
Land and Buildings	19,600	3,402,847
Plant and Equipment	456,884	1,279,054
Furniture and Equipment	0	0
Bush Fire Equipment	0	460,000
Playground Equipment	0	0
Infrastructure Assets - Roads	357,654	3,350,383
Infrastructure Assets - Footpaths	71,484	611,151
Infrastructure Assets - Bridges & Culverts	0	260,000
Infrastructure Assets - Drainage	286,963	1,010,772
Infrastructure Assets - Parks & Ovals	375,309	649,264
Infrastructure Assets - Airfields	0	0
Infrastructure Assets - Streetscape	75,635	264,371
Infrastructure Assets - Other	134,629	410,042
	1,778,157	11,697,884

# SHIRE OF NORTHAM

## AGENDA

### COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015

SHIRE OF NORTHAM

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

2. DISPOSALS OF ASSETS

The following assets have been disposed of during the period under review:

<u>By Program</u>	Written Down Value		Sale Proceeds		Profit(Loss)	
	October 2015 Actual	2015/2016 Budget	October 2015 Actual	2015/2016 Budget	October 2015 Actual	2015/2016 Budget
	\$	\$	\$	\$	\$	\$
<b>Governance</b>						
PN1315 CEO Vehicle (N4082) MV1315	0.00	46,647	0.00	29,000	0.00	(17,647)
<b>Law, Order, Public Safety</b>						
PN1315 CESM Vehicle (N4056) MV1303	0.00	25,001	0.00	10,000	0.00	(15,001)
PN1223 Ranger Vehicle (N4021) MV1228	0.00	20,019	0.00	10,000	0.00	(10,019)
PN1304 Ranger Vehicle (N4057) MV1304	0.00	21,552	0.00	10,000	0.00	(11,552)
<b>Health</b>						
PN1215 SEHO Vehicle (N10734) MV1218	0.00	15,995	0.00	13,000	0.00	(2,995)
<b>Community Amenities</b>						
PN1208 Snr Planner Vehicle (N10714) MV1208	0.00	12,000	0.00	12,000	0.00	0
PN1301 SV6 Commodore Sedan (N4030) MV1302	0.00	24,726	0.00	20,000	0.00	(4,726)
<b>Recreation &amp; Culture</b>						
PN1306 EMCommS Vehicle (N4092) MV1305	0.00	29,437	0.00	20,000	0.00	(9,437)
<b>Transport</b>						
PN0812 Wundowie Truck (N3647) 9216	0.00	25,000	0.00	31,045	0.00	6,045
PN1201 Flocon (N008) MV1201 & MV1202	0.00	90,751	0.00	73,427	0.00	(17,324)
P5029 Quad Bike (N5173) 9029	0.00	7,417	0.00	7,276	0.00	(141)
PN0905 Ride on Mower (N3779) 9240	0.00	22,169	0.00	8,211	0.00	(13,958)
P5017 Dynapac Vibrating Roller (N9166) 9017	0.00	3,794	0.00	3,047	0.00	(747)
PN1009 Two Way Tip Truck (N3885) RP1009	0.00	111,342	0.00	50,000	0.00	(61,342)
PN1205 Reticulation Utility (N10709) MV1206	0.00	8,635	0.00	12,636	0.00	4,001
Flail Mower Wundowie	0.00	0	0.00	5,000	0.00	5,000
<b>Other Economic Services</b>						
PN1221 Building Mtc Vehicle (N10728) MV1213	0.00	11,752	0.00	10,000	0.00	(1,752)
PN1219 Snr Building Surveyor Vehicle (N3433) MV1224	0.00	12,434	0.00	20,000	0.00	7,566
	0.00	488,671	0.00	344,642	0.00	(144,029)

# SHIRE OF NORTHAM

## AGENDA

### COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015

SHIRE OF NORTHAM

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

2. DISPOSALS OF ASSETS

The following assets have been disposed of during the period under review:

By Class	Written Down Value		Sale Proceeds		Profit(Loss)	
	October 2015 Actual	2015/2016 Budget	October 2015 Actual	2015/2016 Budget	October 2015 Actual	2015/2016 Budget
	\$	\$	\$	\$	\$	\$
<b>Plant &amp; Equipment</b>						
PN1315 CEO Vehicle (N4082) MV1315	0.00	46,647	0.00	29,000	0.00	(17,647)
PN1315 CESM Vehicle (N4056) MV1303	0.00	25,001	0.00	10,000	0.00	(15,001)
PN1223 Ranger Vehicle (N4021) MV1228	0.00	20,019	0.00	10,000	0.00	(10,019)
PN1304 Ranger Vehicle (N4057) MV1304	0.00	21,552	0.00	10,000	0.00	(11,552)
PN1215 SEHO Vehicle (N10734) MV1218	0.00	15,995	0.00	13,000	0.00	(2,995)
PN1208 Snr Planner Vehicle (N10714) MV1208	0.00	12,000	0.00	12,000	0.00	0
PN1306 EMCommS Vehicle (N4092) MV1305	0.00	29,437	0.00	20,000	0.00	(9,437)
PN0812 Wundowie Truck (N3647) 9216	0.00	25,000	0.00	31,045	0.00	6,045
PN1201 Flocon (N008) MV1201 & MV1202	0.00	90,751	0.00	73,427	0.00	(17,324)
P5029 Quad Bike (N5173) 9029	0.00	7,417	0.00	7,276	0.00	(141)
PN0905 Ride on Mower (N3779) 9240	0.00	22,169	0.00	8,211	0.00	(13,958)
P5017 Dynapac Vibrating Roller (N9166) 9017	0.00	3,794	0.00	3,047	0.00	(747)
PN1009 Two Way Tip Truck (N3885) RP1009	0.00	111,342	0.00	50,000	0.00	(61,342)
PN1205 Reticulation Utility (N10709) MV1206	0.00	8,635	0.00	12,636	0.00	4,001
Flail Mower Wundowie	0.00	0	0.00	5,000	0.00	5,000
PN1301 SV6 Commodore Sedan (N4030) MV1302	0.00	24,726.00	0.00	20,000.00	0.00	(4,726.00)
PN1221 Building Mtc Vehicle (N10728) MV1213	0.00	11,752	0.00	10,000	0.00	(1,752)
PN1219 Snr Building Surveyor Vehicle (N3433) MV1224	0.00	12,434	0.00	20,000	0.00	7,566
	0.00	488,671	0.00	344,642	0.00	(144,029)

**Summary**

Profit on Asset Disposals  
Loss on Asset Disposals

October 2015 Actual	2015/2016 Budget
\$	\$
0.00	22,612
0.00	(166,641)
0.00	(144,029)

# SHIRE OF NORTHAM

## AGENDA

### COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015

#### SHIRE OF NORTHAM

#### NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

### 3. INFORMATION ON BORROWINGS

(a) Debenture Repayments

Particulars	Principal 1-Jul-15	New Loans		Principal Repayments		Principal Outstanding		Interest Repayments	
		2015/2016 Budget \$	2015/2016 Actual \$	2015/2016 Budget \$	2015/2016 Actual \$	2015/2016 Budget \$	2015/2016 Actual \$	2015/2016 Budget \$	2015/2016 Actual \$
<b>Recreation &amp; Culture</b>									
Loan 208 - Northam Country Club **	25,270	0	0	4,919	2,414	20,351	22,856	1,938	935
Loan 219 - Northam Bowling Club **	94,923	0	0	25,180	12,407	69,743	82,516	5,752	2,772
Loan 223 - Recreation Facilities	579,122	0	0	102,423	50,447	476,699	528,675	37,485	17,795
Loan 224 - Recreation Facilities	976,294	0	0	36,236	17,829	940,058	958,465	69,264	31,747
<b>Transport</b>									
Loan 221 - Airstrip Upgrade	37,519	0	0	11,749	0	25,770	37,519	2,435	6
<b>Economic Services</b>									
Loan 225 - Victoria Oval Purchase	798,785	0	0	29,647	14,587	769,138	784,198	56,671	25,975
	2,511,913	0	0	210,154	97,684	2,301,759	2,414,229	173,545	79,230

**Note:** \*\* indicates self - supporting loans

All other debenture repayments are to be financed by general purpose revenue.

Loan 221 - No longer a self supporting loan to Northam Aero Club now financed by general purpose revenue.

**SHIRE OF NORTHAM**  
**AGENDA**  
**COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015**

SHIRE OF NORTHAM

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

**3. INFORMATION ON BORROWINGS**

(a) Debenture Repayments

Particulars	Principal 1-Jul-15	New Loans		Principal Repayments		Principal Outstanding		Interest Repayments	
		2015/2016 Budget \$	2015/2016 Actual \$	2015/2016 Budget \$	2015/2016 Actual \$	2015/2016 Budget \$	2015/2016 Actual \$	2015/2016 Budget \$	2015/2016 Actual \$
<b>Recreation &amp; Culture</b>									
Loan 208 - Northam Country Club **	25,270	0	0	4,919	2,414	20,351	22,856	1,938	935
Loan 219 - Northam Bowling Club **	94,923	0	0	25,180	12,407	69,743	82,516	5,752	2,772
Loan 223 - Recreation Facilities	579,122	0	0	102,423	50,447	476,699	528,675	37,485	17,795
Loan 224 - Recreation Facilities	976,294	0	0	36,236	17,829	940,058	958,465	69,264	31,747
<b>Transport</b>									
Loan 221 - Airstrip Upgrade	37,519	0	0	11,749	0	25,770	37,519	2,435	6
<b>Economic Services</b>									
Loan 225 - Victoria Oval Purchase	798,785	0	0	29,647	14,587	769,138	784,198	56,671	25,975
	2,511,913	0	0	210,154	97,684	2,301,759	2,414,229	173,545	79,230

**Note:** \*\* indicates self - supporting loans

All other debenture repayments are to be financed by general purpose revenue.

Loan 221 - No longer a self supporting loan to Northam Aero Club now financed by general purpose revenue.

**SHIRE OF NORTHAM**  
**AGENDA**  
**COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015**

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**SHIRE OF NORTHAM**

**NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY**

**FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015**

**3. INFORMATION ON BORROWINGS (Continued)**

(b) New Debentures - 2015/16

The Shire of Northam does not propose to raise any new debenture in 2015/16.

(c) Unspent Debentures

Council had no unspent debenture funds as at 30th June 2015, it is not expected to have any unspent debenture funds as at 30th June 2016.

(d) Overdraft

Council has not utilised an overdraft facility during the financial year although an overdraft facility of \$100,000 with the Bank of Western Australia does exist. It is not anticipated that this facility will be required to be utilised during 2015/16.

**SHIRE OF NORTHAM**  
**AGENDA**  
**COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015**

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SHIRE OF NORTHAM

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

	October 2015 Actual \$	2015/2016 Budget \$
<b>4. RESERVES - CASH BACKED</b>		
<b>(a) Aged Accomodation Reserve</b>		
Opening Balance	255,465	255,465
Interest	1,762	6,324
Amount Set Aside / Transfer to Reserve	0	15,900
Amount Used / Transfer from Reserve	0	(41,380)
	<u>257,227</u>	<u>236,309</u>
<b>(b) Employee Liability Reserve</b>		
Opening Balance	494,602	494,602
Interest	3,412	12,213
Amount Set Aside / Transfer to Reserve	0	0
Amount Used / Transfer from Reserve	0	(18,500)
	<u>498,014</u>	<u>488,315</u>
<b>(c) Housing Reserve</b>		
Opening Balance	242,782	242,782
Interest	1,675	5,995
Amount Set Aside / Transfer to Reserve	0	0
Amount Used / Transfer from Reserve	0	0
	<u>244,457</u>	<u>248,777</u>
<b>(d) Reticulation Scheme Reserve</b>		
Opening Balance	48,750	48,750
Interest	336	1,204
Amount Set Aside / Transfer to Reserve	0	40,000
Amount Used / Transfer from Reserve	0	0
	<u>49,086</u>	<u>89,954</u>
<b>(e) Office Equipment Reserve</b>		
Opening Balance	122,458	122,458
Interest	845	3,024
Amount Set Aside / Transfer to Reserve	0	0
Amount Used / Transfer from Reserve	0	0
	<u>123,303</u>	<u>125,482</u>
<b>(f) Plant &amp; Equipment Reserve</b>		
Opening Balance	600,754	600,754
Interest	4,144	15,999
Amount Set Aside / Transfer to Reserve	0	488,965
Amount Used / Transfer from Reserve	0	(678,212)
	<u>604,898</u>	<u>427,506</u>
<b>(g) Recreation Reserve</b>		
Opening Balance	18,131	18,131
Interest	125	448
Amount Set Aside / Transfer to Reserve	0	0
Amount Used / Transfer from Reserve	0	(18,579)
	<u>18,256</u>	<u>0</u>
<b>(h) Road &amp; Bridgeworks Reserve</b>		
Opening Balance	547,453	547,453
Interest	3,777	13,479
Amount Set Aside / Transfer to Reserve	0	10,000
Amount Used / Transfer from Reserve	0	(187,180)
	<u>551,230</u>	<u>383,752</u>

**SHIRE OF NORTHAM**  
**AGENDA**  
**COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015**

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SHIRE OF NORTHAM

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

	October 2015 Actual \$	2015/2016 Budget \$
<b>4. RESERVES - CASH BACKED (Continued)</b>		
<b>(i) Refuse Site Reserve</b>		
Opening Balance	228,755	228,756
Interest	1,578	5,649
Amount Set Aside / Transfer to Reserve	0	150,105
Amount Used / Transfer from Reserve	0	0
	<u>230,333</u>	<u>384,510</u>
<b>(j) Regional Development Reserve</b>		
Opening Balance	873,646	873,646
Interest	6,027	21,573
Amount Set Aside / Transfer to Reserve	0	0
Amount Used / Transfer from Reserve	0	(80,000)
	<u>879,673</u>	<u>815,219</u>
<b>(k) Speedway Reserve</b>		
Opening Balance	134,967	134,968
Interest	931	3,333
Amount Set Aside / Transfer to Reserve	0	0
Amount Used / Transfer from Reserve	0	0
	<u>135,898</u>	<u>138,301</u>
<b>(l) Community Bus Replacement Reserve</b>		
Opening Balance	31,138	31,139
Interest	215	769
Amount Set Aside / Transfer to Reserve	0	0
Amount Used / Transfer from Reserve	0	0
	<u>31,353</u>	<u>31,908</u>
<b>(m) Septage Pond Reserve</b>		
Opening Balance	324,006	324,006
Interest	2,235	8,001
Amount Set Aside / Transfer to Reserve	0	26,415
Amount Used / Transfer from Reserve	0	0
	<u>326,241</u>	<u>358,422</u>
<b>(n) Killara Reserve</b>		
Opening Balance	168,620	154,372
Interest	1,163	7,000
Amount Set Aside / Transfer to Reserve	0	0
Amount Used / Transfer from Reserve	0	(30,000)
	<u>169,784</u>	<u>131,372</u>
<b>(o) Stormwater Drainage Projects Reserve</b>		
Opening Balance	27,441	27,441
Interest	189	1,067
Amount Set Aside / Transfer to Reserve	0	0
Amount Used / Transfer from Reserve	0	0
	<u>27,630</u>	<u>28,508</u>

**SHIRE OF NORTHAM**  
**AGENDA**  
**COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015**

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SHIRE OF NORTHAM

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

	October 2015 Actual \$	2015/2016 Budget \$
<b>4. RESERVES - CASH BACKED (Continued)</b>		
<b>(p) Recreation and Community Facilities Reserve</b>		
Opening Balance	810,814	810,813
Interest	5,594	20,022
Amount Set Aside / Transfer to Reserve	0	0
Amount Used / Transfer from Reserve	0	(431,296)
	<u>816,408</u>	<u>399,539</u>
<b>(q) Administration Office Reserve</b>		
Opening Balance	671,050	671,050
Interest	4,629	16,570
Amount Set Aside / Transfer to Reserve	0	0
Amount Used / Transfer from Reserve	0	0
	<u>675,679</u>	<u>687,620</u>
<b>(r) Council Buildings &amp; Amenities Reserve</b>		
Opening Balance	130,204	130,203
Interest	898	3,215
Amount Set Aside / Transfer to Reserve	0	0
Amount Used / Transfer from Reserve	0	(100,000)
	<u>131,102</u>	<u>33,418</u>
<b>(s) River Town Pool Dredging Reserve</b>		
Opening Balance	283,686	283,686
Interest	1,957	7,005
Amount Set Aside / Transfer to Reserve	0	0
Amount Used / Transfer from Reserve	0	(223,600)
	<u>285,643</u>	<u>67,091</u>
<b>(t) Parking Facilities Construction Reserve</b>		
Opening Balance	123,583	123,582
Interest	853	3,586
Amount Set Aside / Transfer to Reserve	0	75,000
Amount Used / Transfer from Reserve	0	(49,314)
	<u>124,436</u>	<u>152,854</u>
<b>(u) Art Collection Reserve</b>		
Opening Balance	21,219	21,219
Interest	146	524
Amount Set Aside / Transfer to Reserve	0	0
Amount Used / Transfer from Reserve	0	0
	<u>21,365</u>	<u>21,743</u>
<b>Total Cash Backed Reserves</b>	<u>6,202,017</u>	<u>5,250,600</u>
Total Interest	42,493	157,000

All of the above reserve accounts are to be supported by money held in financial institutions.

**SHIRE OF NORTHAM**  
**AGENDA**  
**COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015**

SHIRE OF NORTHAM

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

	October 2015 Actual \$	2015/2016 Budget \$
<b>4. RESERVES - CASH BACKED (Continued)</b>		
<b>Summary of Transfers to Cash Backed Reserves</b>		
<b>Transfers to Reserves</b>		
Aged Accommodation Reserve	1,762	22,224
Employee Liability Reserve	3,412	12,213
Housing Reserve	1,675	5,995
Reticulation Scheme Reserve	336	41,204
Office Equipment Reserve	845	3,024
Plant & Equipment Reserve	4,144	504,964
Recreation Reserve	125	448
Road & Bridgeworks Reserve	3,777	23,479
Refuse Site Reserve	1,578	155,754
Regional Development Reserve	6,027	21,573
Speedway Reserve	931	3,333
Community Bus Replacement Reserve	215	769
Septage Pond Reserve	2,235	34,416
Killara Reserve	1,163	7,000
Stormwater Drainage Projects Reserve	189	1,067
Recreation and Community Facilities Reserve	5,594	20,022
Administration Office Reserve	4,629	16,570
Council Buildings & Amenities Reserve	898	3,215
River Town Pool Dredging Reserve	1,957	7,005
Parking Facilities Construction Reserve	853	78,586
Art Collection Reserve	146	524
	<u>42,493</u>	<u>963,385</u>
<b>Transfers from Reserves</b>		
Aged Accommodation Reserve	0	(41,380)
Employee Liability Reserve	0	(18,500)
Housing Reserve	0	0
Reticulation Scheme Reserve	0	0
Office Equipment Reserve	0	0
Plant & Equipment Reserve	0	(678,212)
Recreation Reserve	0	(18,579)
Road & Bridgeworks Reserve	0	(187,180)
Refuse Site Reserve	0	0
Regional Development Reserve	0	(80,000)
Speedway Reserve	0	0
Community Bus Replacement Reserve	0	0
Septage Pond Reserve	0	0
Killara Reserve	0	(30,000)
Stormwater Drainage Projects Reserve	0	0
Recreation and Community Facilities Reserve	0	(431,296)
Administration Office Reserve	0	0
Council Buildings & Amenities Reserve	0	(100,000)
River Town Pool Dredging Reserve	0	(223,600)
Parking Facilities Construction Reserve	0	(49,314)
Art Collection Reserve	0	0
	<u>0</u>	<u>(1,858,061)</u>
<b>Total Transfer to/(from) Reserves</b>	<u>42,493</u>	<u>(894,676)</u>

# SHIRE OF NORTHAM

## AGENDA

### COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015

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#### SHIRE OF NORTHAM

#### NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

#### 4. RESERVES (Continued)

In accordance with council resolutions in relation to each reserve account, the purpose for which the reserves are set aside are as follows:

##### **Aged Accommodation Reserve**

Provision of future capital works requirements for aged units at Kuringal Village, Wundowie, and other sites within the Shire of Northam.

##### **Employee Liability Reserve**

Provision for employees future liability commitments, ie annual leave, long service leave requirements and negotiated gratuities and sickness payouts.

##### **Housing Reserve**

Reserve established for future construction of Community Housing in Wundowie.

##### **Reticulation Scheme Reserve**

Provision for future replacement/upgrading of water reuse and reticulation infrastructure. Funds not expected to be used in a set period as further transfer to the reserve account are expected as funds are utilised.

##### **Office Equipment Reserve**

Acquisition and upgrading of Council offices, furniture, computers and general equipment. Funds not expected to be used in a set period as further transfer to the reserve account are expected as funds are utilised.

##### **Plant & Equipment Reserve**

Acquisition and upgrading of Council works plant and general equipment in accordance with plant replacement program. Funds not expected to be used in a set period as further transfer to the reserve account are expected as funds are utilised.

##### **Recreation Reserve**

Purpose - Development and improvement of recreation and sporting facilities within the Shire of Northam. It is anticipated that this reserve will be fully utilised in 2015/16.

##### **Road & Bridgeworks Reserve**

Provision for upgrading of road and bridge infrastructure within the Shire of Northam. Funds not expected to be used in a set period as further transfer to the reserve account are expected as funds are utilised.

##### **Refuse Site Reserve**

Purpose - Development of Refuse Sites and related infrastructure and equipment, including provision for future replacement facility and/or site. Funds are not expected to be used in a set period as further transfers to the reserve account are anticipated.

##### **Regional Development Reserve**

Purpose - To provide for future projects whereby a broader range of development ideas may be required to be encouraged on a regional basis, in consultation with other stakeholders and/or Local Governments. Funds are not expected to be used in a set period as further transfers to the reserve account are anticipated.

##### **Speedway Reserve**

Purpose - To provide funds for possible future rehabilitation works required at the Northam Speedway site on Fox Road Northam. No date has been specified for the use of this Reserve.

##### **Community Bus Replacement Reserve**

Purpose - To provide funds for future replacement of the Shire of Northam Community Buses. Funds are not expected to be used in a set period as further transfers to the reserve account are anticipated.

# SHIRE OF NORTHAM

## AGENDA

### COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015

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#### SHIRE OF NORTHAM

#### NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

#### 4. RESERVES (Continued)

##### **Septic Pond Reserve**

Purpose - To provide for funds for future upgrades and maintenance to septic ponds and related infrastructure. Funds are not expected to be used in a set period as further transfers to the reserve account are anticipated.

##### **Killara Reserve**

Purpose - To provide a fund for surplus funds from Killara Operations and a restricted cash for and unspent Killara Grants. No date has been specified for the use of this Reserve.

##### **Stormwater Drainage Projects Reserve**

Purpose - To provide funds for stormwater drainage projects. No date has been specified for the use of this Reserve.

##### **Recreation and Community Facilities Reserve**

Purpose - To provide fund for Recreation and Public Facilities within the Shire of Northam. No date has been specified for the use of this Reserve. 2% of net rates levied each year set aside for the provision of recreation and sport facilities.

##### **Administration Office Reserve**

Purpose - To provide a fund for the expansion or relocation of the Shire of Northam Administration Centre. No date has been specified for the use of this Reserve.

##### **Council Buildings & Amenities Reserve**

Purpose - Provision for maintenance and upgrading of Council buildings and amenities. Funds not expected to be used in a set period as further transfer to the reserve account are anticipated.

##### **River Town Pool Dredging Reserve**

Purpose - Provision for dredging and maintenance of the River Town Pool. Funds not expected to be used in a set period as further transfers to the reserve account are anticipated.

##### **Parking Facilities Construction Reserve**

Purpose - Provision for future car parking facilities. Funds are not expected to be used in a set period as further transfers to the reserve account are anticipated.

##### **Art Collection Reserve**

Purpose - Provision for the care and maintenance of the Shire of Northam's art collection, including acquisitions and disposal. Funds are not expected to be used in a set period as further transfers to the reserve account are anticipated.

**SHIRE OF NORTHAM**  
**AGENDA**  
**COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015**

**SHIRE OF NORTHAM**

**NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY**

**FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015**

	<b>October 2015 Actual \$</b>	<b>2014/2015 Financial Report \$</b>	<b>2015/2016 Budget \$</b>
<b>5. NET CURRENT ASSETS</b>			
<b>Composition of Estimated Net Current Asset Position</b>			
<b>CURRENT ASSETS</b>			
Cash - Unrestricted	5,815,551	3,118,600	200,000
Cash - Restricted Unspent Grants	1,646,770	2,107,310	0
Cash - Restricted Unspent Loans	0	0	0
Cash - Restricted Reserves	6,202,016	6,159,524	5,250,600
Sundry Debtors	684,473	1,277,154	1,141,850
Rates - Current	4,088,022	1,136,116	0
Pensioners Rates Rebate	88,892	16,222	0
Provision for Doubtful Debts	(124,729)	(124,729)	0
GST Receivable	171	175,694	0
Accrued Income/Prepayments	0	11,693	0
Inventories	0	30,222	10,000
	18,401,166	13,907,805	6,602,450
<b>LESS: CURRENT LIABILITIES</b>			
Sundry Creditors	(816,791)	(1,207,536)	(2,159,557)
Rates Income in Advance	(39,070)	0	0
GST Payable	(171)	(104,067)	0
Accrued Salaries & Wages	0	0	0
Accrued Interest on Debentures	(35,862)	(35,862)	0
Payroll Creditors	0	(202,109)	0
Accrued Expenditure	0	0	0
Withholding Tax Payable	0	0	0
Payg Payable	123,357	(26,147)	0
Loan Liability	(112,468)	(210,153)	0
Provision for Annual Leave	(491,486)	(534,837)	0
Provision for Long Service Leave	(297,881)	(320,601)	0
Other Payables	0	0	0
	(1,670,372)	(2,641,312)	(2,159,557)
<b>NET CURRENT ASSET POSITION</b>	16,730,794	11,266,493	4,442,893
Less: Cash - Reserves - Restricted	(6,202,016)	(6,159,524)	(5,250,600)
Less: Cash - Unspent Grants - Restricted	0	0	0
Add: Current Loan Liability	112,468	210,153	223,416
Add: Leave Liability Reserve	498,014	494,602	488,315
Add: Budgetted Leave	100,000	100,000	100,000
<b>ESTIMATED SURPLUS/(DEFICIENCY) C/FWD</b>	11,239,260	5,911,724	4,024

# SHIRE OF NORTHAM

## AGENDA

### COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015

#### SHIRE OF NORTHAM

#### NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

#### 6. RATING INFORMATION

RATE TYPE	Rate in \$	Number of Properties	Rateable Value \$	2015/2016 Rate Revenue \$	2015/2016 Interim Rates \$	2015/2016 Back Rates \$	2015/2016 Total Revenue \$	2015/2016 Budget \$
<b>General Rate</b>								
00 Non-Rateable	0.0000	700	3,343,912	0	0	0	0	0
01 GRV-Townsites Residential	10.5571	2,988	37,552,380	3,964,443	(477)	0	3,963,966	3,981,043
02 GRV-Northam Commercial/Industrial	11.6252	248	11,255,466	1,308,470	0	0	1,308,470	1,309,570
05 Agricultural Local	0.5679	519	160,924,000	913,888	(458)	(1,255)	912,175	918,988
06 Agricultural Regional	0.4706	208	111,632,000	525,340	0	0	525,340	530,440
07 Rural Small Holdings	0.6474	546	95,829,000	620,397	0	0	620,397	623,497
<b>Sub-Totals</b>		5,209	420,536,758	7,332,538	(935)	(1,255)	7,330,348	7,363,538
<b>Minimum Rates</b>								
	<b>Minimum \$</b>							
01 GRV-Northam Town Gen	865	914	4,211,349	791,475	0	0	791,475	790,610
02 GRV-Northam Town Diff	865	48	185,998	41,520	0	0	41,520	41,520
05 Agricultural Local	865	136	11,523,418	117,640	0	0	117,640	117,640
06 Agricultural Regional	865	205	23,189,539	177,325	0	0	177,325	177,325
07 Rural Small Holdings	865	106	13,223,000	91,690	0	0	91,690	91,690
<b>Sub-Totals</b>		1,409	52,333,304	1,219,650	0	0	1,219,650	1,218,785
							8,549,998	8,582,323
Ex-Gratia Rates							0	12,900
Excess Rate Receipts							(158,077)	0
<b>Totals</b>				8,552,188	(935)	(1,255)	8,391,921	8,595,223

# SHIRE OF NORTHAM

## AGENDA

### COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015

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#### SHIRE OF NORTHAM

#### NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

#### FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

#### 6. RATING INFORMATION (Continued)

All land except exempt land in the Shire of Northam is rated according to its Gross Rental Value (GRV) in townsites or Unimproved Value (UV) in the remainder of the Shire.

The general rates detailed above for the 2015/16 financial year have been determined by Council on the basis of raising the revenue required to meet the deficiency between the total estimated expenditure proposed in the budget and the estimated revenue to be received from all sources other than rates and also considering the extent of any increase in rating over the level adopted in the previous year.

The minimum rates have been determined by Council on the basis that all ratepayers must make a reasonable contribution to the cost of the Local Government services/facilities.

**SHIRE OF NORTHAM**  
**AGENDA**  
**COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015**

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SHIRE OF NORTHAM

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

7. TRUST FUNDS

Funds held at balance date over which the Municipality has no control and which are not included in this statement are as follows:

Detail		Balance 01-Jul-15 \$	Amounts Received \$	Amounts Paid (\$)	Balance \$
Town Hall Bond	1	1,500	500	(500)	1,500
Lesser Hall Bond	2	900	1,500	(500)	1,900
Nomination Deposits	4	0	640	80	720
Library Deposits & Income	5	0	0	0	0
POS - Cash in Lieu	6	338,929	3,090	0	342,019
Bonds - Building	7	34,500	0	0	34,500
Crossovers - Bond	9	86,392	0	0	86,392
Recreation Centre Bond	11	400	0	0	400
Facilities - Bonds	18	200	0	0	200
Footpath/Kerbing Deposit	22	96,500	9,000	(9,500)	96,000
Retentions	26	169,175	11,618	(25,720)	155,073
Sundry Trust	27	13,310	0	0	13,310
Building & Construction (E	29	0	17,110	(15,676)	1,434
Builders Reg Board Levy	30	0	15,838	(14,116)	1,722
Standpipe Key	31	6,900	150	(100)	6,950
Resited Dwellings	32	37,200	303	0	37,503
Deposits-Extractive Indust	33	261,548	2,492	0	264,040
Other	34	15,747	0	0	15,747
Other - Rental Bond	35	200	0	0	200
Bonds - Animal Traps	36	130	167	(167)	130
Storm Damage Donations	38	175	0	0	175
		<u>1,063,706</u>	<u>62,408</u>	<u>(66,199)</u>	<u>1,059,915</u>

**SHIRE OF NORTHAM**  
**AGENDA**  
**COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015**

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SHIRE OF NORTHAM

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

8. OPERATING STATEMENT

	October 2015 Actual \$	2015/2016 Budget \$	2014/2015 Actual \$
<b>OPERATING REVENUES</b>			
Governance	46,689	54,800	99,624
General Purpose Funding	8,995,874	10,772,405	14,635,200
Law, Order, Public Safety	79,266	1,044,095	431,881
Health	4,274	50,000	38,907
Education and Welfare	564,870	1,333,066	1,233,363
Housing	12,415	46,465	44,286
Community Amenities	1,807,528	2,469,929	3,594,743
Recreation and Culture	100,800	3,023,244	722,954
Transport	503,588	2,277,699	1,459,102
Economic Services	104,544	574,419	1,528,375
Other Property and Services	50,382	54,200	78,198
<b>TOTAL OPERATING REVENUE</b>	<b>12,270,230</b>	<b>21,700,322</b>	<b>23,866,634</b>
<b>OPERATING EXPENSES</b>			
Governance	419,758	1,201,997	1,217,592
General Purpose Funding	86,117	364,868	355,250
Law, Order, Public Safety	352,648	1,131,201	1,087,825
Health	123,662	296,919	375,458
Education and Welfare	447,698	1,502,295	1,376,796
Housing	32,071	105,856	102,994
Community Amenities	885,144	3,419,277	3,021,439
Recreation & Culture	1,490,760	4,285,143	3,952,063
Transport	2,851,202	4,760,181	4,646,373
Economic Services	683,818	2,036,106	1,827,167
Other Property and Services	176,717	27,040	210,182
<b>TOTAL OPERATING EXPENSE</b>	<b>7,549,595</b>	<b>19,130,883</b>	<b>18,173,139</b>
<b>CHANGE IN NET ASSETS RESULTING FROM OPERATIONS</b>	<b>4,720,635</b>	<b>2,569,439</b>	<b>5,693,495</b>

**SHIRE OF NORTHAM**  
**AGENDA**  
**COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015**

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SHIRE OF NORTHAM

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

9. BALANCE SHEET

	October 2015 Actual \$	2014/2015 Actual \$
<b>CURRENT ASSETS</b>		
Cash Assets	13,664,337	11,385,434
Receivables	4,752,107	2,633,780
Inventories	0	30,221
<b>TOTAL CURRENT ASSETS</b>	<u>18,416,444</u>	<u>14,049,435</u>
<b>NON-CURRENT ASSETS</b>		
Receivables	400,038	435,458
Inventories	0	0
Land	16,575,350	16,574,100
Property, Plant and Equipment	40,650,572	40,558,374
Infrastructure	189,804,329	190,623,664
<b>TOTAL NON-CURRENT ASSETS</b>	<u>247,430,289</u>	<u>248,191,596</u>
<b>TOTAL ASSETS</b>	<u>265,846,733</u>	<u>262,241,031</u>
<b>CURRENT LIABILITIES</b>		
Payables	768,539	1,722,671
Interest-bearing Liabilities	112,468	207,198
Provisions	789,367	855,439
<b>TOTAL CURRENT LIABILITIES</b>	<u>1,670,374</u>	<u>2,785,308</u>
<b>NON-CURRENT LIABILITIES</b>		
Interest-bearing Liabilities	2,301,760	2,301,760
Provisions	158,484	158,484
<b>TOTAL NON-CURRENT LIABILITIES</b>	<u>2,460,244</u>	<u>2,460,244</u>
<b>TOTAL LIABILITIES</b>	<u>4,130,618</u>	<u>5,245,552</u>
<b>NET ASSETS</b>	<u>261,716,115</u>	<u>256,995,479</u>
<b>EQUITY</b>		
Retained Surplus	84,593,986	79,915,843
Reserves - Cash Backed	6,202,016	6,159,524
Reserves - Asset Revaluation	170,920,113	170,920,113
<b>TOTAL EQUITY</b>	<u>261,716,115</u>	<u>256,995,480</u>

**SHIRE OF NORTHAM**  
**AGENDA**  
**COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015**

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SHIRE OF NORTHAM

NOTES TO AND FORMING PART OF THE STATEMENT OF FINANCIAL ACTIVITY

FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

10. FINANCIAL RATIO

	2016 YTD	2015	2014	2013
Current Ratio	9.01	2.52	1.43	1.82

The above rates are calculated as follows:

Current Ratio equals	$\frac{\text{Current assets minus restricted current assets}}{\text{Current liabilities minus liabilities associated with restricted assets}}$
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# SHIRE OF NORTHAM

## AGENDA

### COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015

SHIRE OF NORTHAM  
STATEMENT OF FINANCIAL ACTIVITY  
FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

	NOTE	October 2015 Actual \$	October 2015 Y-T-D Budget \$	Projected 2015/2016 Budget \$	Variances Actuals to Budget \$	Variances Actual Budget to Y-T-D %	
<b>Operating</b>							
<b>Revenues/Sources</b>							
	8						
Governance		46,689	18,248	54,800	28,441	155.86%	Insurance Rebate
General Purpose Funding Other		445,876	593,226	2,190,082	(147,350)	(24.84%)	Grants Commission Funding timing
General Purpose Funding Rates		8,549,998	2,860,440	8,582,323	5,689,558	198.91%	Rates levied in August, Timing on DFES capital grant funding new plant, BFB and SES Operating Grant
Law, Order, Public Safety		79,266	347,996	1,044,095	(268,730)	(77.22%)	
Health		4,274	16,664	50,000	(12,390)	(74.35%)	Fewer Health Licences issued compared to budget
Education and Welfare		564,870	444,332	1,333,066	120,538	27.13%	HACC & NRCP funding received.
Housing		12,415	15,480	46,465	(3,065)	(19.80%)	
Community Amenities		1,807,528	823,272	2,469,929	984,256	119.55%	Rates levied in August for bin charges for the year
Recreation and Culture		100,800	1,007,676	3,023,244	(906,876)	(90.00%)	Timing on grant income NSRF, AVVA and the Balcony on the Town Hall
Transport		503,588	519,717	2,277,699	(16,129)	(3.10%)	Timing on grant income MRWA, RRG and Blackspot Funding
Economic Services		104,544	191,412	574,419	(86,868)	(45.38%)	Additional revenue for the Avon Festival
Other Property and Services		50,382	18,056	54,200	32,326	179.03%	
		12,270,230	6,856,519	21,700,322	5,413,711	78.96%	
<b>(Expenses)/(Applications)</b>							
	8						
Governance		(419,758)	(441,107)	(1,201,997)	21,349	4.84%	Timing on expenditure relating to Insurance Expense, Financial Consultants, Recruitment
General Purpose Funding		(86,117)	(121,612)	(364,868)	35,495	29.19%	
Law, Order, Public Safety		(352,648)	(394,275)	(1,131,201)	41,627	10.56%	Timing on budget allocations
Health		(123,662)	(102,378)	(296,919)	(21,284)	(20.79%)	
Education and Welfare		(447,698)	(503,143)	(1,502,295)	55,445	11.02%	Timing of Community sponsorship, higher depreciation charges
Housing		(32,071)	(37,233)	(105,856)	5,162	13.86%	
Community Amenities		(885,144)	(1,142,595)	(3,419,277)	257,451	22.53%	Additional Pool Expenses and Depreciation
Recreation & Culture		(1,490,760)	(1,510,611)	(4,285,143)	19,851	1.31%	Timing on budget allocations
Transport		(2,851,202)	(1,752,876)	(4,760,181)	(1,098,326)	(62.66%)	Timing on budget allocations for Insurance and additional depreciation expenses
Economic Services		(683,818)	(745,179)	(2,036,106)	61,361	8.23%	Timing on budget allocations
Other Property and Services		(176,717)	(60,368)	(27,040)	(116,349)	(192.73%)	Insurance payments paid, will level back incoming months
		(7,549,595)	(6,811,377)	(19,130,883)	(738,218)	10.84%	
<b>Adjustments for Non-Cash (Revenue) and Expenditure</b>							
(Profit)/Loss on Asset Disposals	2	0	48,010	144,029	(48,010)	100.00%	Assets not disposed of in the asset register
Movement in Accrued Interest		0	0	0	0	0.00%	
Movement in Accrued Salaries and Wages		0	0	0	0	0.00%	
Movement in Deferred Pensioner Rates/ESL		0	0	0	0	0.00%	
Movement in Employee Benefit Provisions		(66,072)	0	0	(66,072)	0.00%	
Depreciation on Assets		2,507,001	1,087,852	3,263,710	1,419,149	(130.45%)	Fair Valuation increased the value of the assets and thus annual depreciation charges

# SHIRE OF NORTHAM

## AGENDA

### COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015

SHIRE OF NORTHAM  
STATEMENT OF FINANCIAL ACTIVITY  
FOR THE PERIOD 1 JULY 2015 TO 31 OCTOBER 2015

	NOTE	October 2015 Actual \$	October 2015 Y-T-D Budget \$	Projected 2015/2016 Budget \$	Variances Actuals to Budget \$	Variances Actual Budget to Y-T-D %	
<b><u>Operating</u></b>							
<b><u>Capital Revenue and (Expenditure)</u></b>							
Purchase Land Held for Resale	1	0	0	0	0	0.00%	
Purchase Land and Buildings	1	(19,600)	(3,402,847)	(3,402,847)	3,383,247	99.42%	Timing on building works
Purchase Plant and Equipment	1	(456,884)	(1,279,054)	(1,279,054)	822,170	64.28%	Timing on plant purchases
Purchase Furniture and Equipment	1	0	0	0	0	0.00%	
Purchase Bush Fire Equipment	1	0	(460,000)	(460,000)	460,000	100.00%	Timing unknown for supply by DFES
Purchase Playground Equipment	1	0	0	0	0	0.00%	
Purchase Infrastructure Assets - Roads	1	(357,654)	(3,350,383)	(3,350,383)	2,992,729	89.32%	Timing on budget allocations
Purchase Infrastructure Assets - Bridges	1	0	0	(260,000)	0	#DIV/0!	Quotes obtained - project to be carried forward
Purchase Infrastructure Assets - Footpaths	1	(71,484)	(176,732)	(611,151)	105,248	59.55%	Timing on budget allocations
Purchase Infrastructure Assets - Drainage	1	(286,963)	(1,010,772)	(1,010,772)	723,809	71.61%	Timing on budget allocations
Purchase Infrastructure Assets - Parks & Ovals	1	(375,309)	(649,264)	(649,264)	273,955	42.19%	Timing on budget allocations
Purchase Infrastructure Assets - Airfields	1	0	0	0	0	0.00%	
Purchase Infrastructure Assets - Streetscape	1	(75,635)	(88,116)	(264,371)	12,481	14.16%	
Purchase Infrastructure Assets - Other	1	(134,629)	(410,042)	(410,042)	275,413	67.17%	Timing on budget allocations
Proceeds from Disposal of Assets	2	0	114,881	344,642	(114,881)	100.00%	Assets not disposed of
Repayment of Debentures	3	(97,684)	(70,040)	(210,154)	(27,644)	(39.47%)	
Proceeds from New Debentures	3	0	0	0	0	0.00%	
Advances to Community Groups		0	0	0	0	0.00%	
Self-Supporting Loan Principal Income	3	14,821	10,033	30,099	4,788	(47.72%)	
Transfers to Restricted Assets (Reserves)	4	(42,493)	(963,385)	(963,385)	920,892	95.59%	
Transfers from Restricted Asset (Reserves)	4	0	1,858,061	1,858,061	(1,858,061)	100.00%	
Transfers from Restricted Asset (Other)		0	0	0	0	0.00%	
ADD Net Current Assets July 1 B/Fwd	5	5,911,724	5,911,724	5,919,675	0	0.00%	
LESS Net Current Assets Year to Date	5	11,239,260	4,024	4,024	11,235,236	279205.66%	
<b>Amount Raised from Rates</b>	6	<b>65,143</b>	<b>(2,788,956)</b>	<b>1,254,208</b>	<b>2,854,100</b>	<b>(102.34%)</b>	

This statement is to be read in conjunction with the accompanying notes.

# SHIRE OF NORTHAM

## AGENDA

### COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015

#### BANK RECONCILIATION STATEMENT Period Ending 31st October 2015

	Muni Fund Shire	Trust Fund Shire	Reserve A/c Shire	Unspent DRD DRAINAGE FUNDS Shire
<b>Balance as per Bank Statements</b>				
ANZ 2645-61899 \$ 67,140.99	\$ 67,140.99			
Business Bonus 028-0331279 \$5,631,136.20	\$5,631,136.20			
Muni Operating A/C 028-5350119 \$93,578.90	\$93,578.90			
WA TREASURY BANK \$610,360.97	\$610,360.97			
Term Deposit (Trust) T183 028-038059-9 \$26,909.31		\$26,909.31		
Term Deposit (Trust) T396 028-0387254 \$34,903.92		\$34,903.92		
ANZ Term Deposit (Trust) POS 9975-02546 \$342,019.18		\$342,019.18		
Term Deposit (Trust) Extractive Industry 028-695773-2 \$95,385.58		\$95,385.58		
Term Deposit (Trust) T376 & T440 028-0392516 \$82,561.95		\$82,561.95		
Term Deposit (Trust) T527 028-0386517 \$24,279.11		\$24,279.11		
Trust Operating A/C 028-5350143 \$350,628.61		\$350,628.61		
Term Deposit (Trust T701) 028-0397045 \$42,266.71		\$42,266.71		
Term Deposit (Trust T823) 028-0403591 \$30,307.33		\$30,307.33		
Term Deposit ( Trust 825) 028-0403583 \$30,303.29		\$30,303.29		
Business Bonus(Reserve) 028-0364535 \$1,435,606.39			\$1,435,606.39	
Term Dep Term Deposit 028-0390108 \$683,710.73			\$683,710.73	
ANZ Term Deposit 997465749 \$2,026,769.55			\$2,026,769.55	
Term Deposit 028-0400828 \$2,055,929.59			\$2,055,929.59	
WATC OCDF 066-040 19300000				\$1,036,408.69
<b>Total As Per Bank Statements</b>	<b>\$6,402,217.06</b>	<b>\$1,059,564.99</b>	<b>\$6,202,016.26</b>	<b>\$1,036,408.69</b>
<b>Plus</b>				
Outstanding Deposits 40,296.12	40,296.12	906.87		
Outstanding Dep (Trust)				
Outstanding Dep ( Muni)				
	<b>\$40,296.12</b>	<b>\$906.87</b>	<b>\$0.00</b>	<b>\$0.00</b>
<b>Less</b>				
Unpresented Cheques (20,131.40)	(20,131.40)	(556.00)		
	<b>(\$20,131.40)</b>	<b>(\$556.00)</b>	<b>\$0.00</b>	<b>\$0.00</b>
<b>Adjustments</b>				
Transfer from Muni to Reserve				
Transfer from Reserve to Muni				
Transfer of bank fee charges Unspent Grants				
<b>Bank Statement Balance after Adjustments</b>	<b>\$6,422,381.78</b>	<b>\$1,059,915.86</b>	<b>\$6,202,016.26</b>	<b>\$1,036,408.69</b>
<b>General Ledger Accounts</b>				
1110000010 MUNI BANK 5,812,020.81	5,812,020.81			
1111800010 Trust Bank 1,059,915.86		1,059,915.86		
1111001010 Short Term Investment 610,360.97	610,360.97			
1111501010 Reserve Inv Bank 6,202,016.26			6,202,016.26	
1111002010 Unspent Grant				\$1,036,408.69
<b>Balance Per General Ledger Accounts</b>	<b>\$6,422,381.78</b>	<b>\$1,059,915.86</b>	<b>\$6,202,016.26</b>	<b>\$1,036,408.69</b>
<b>IMBALANCE</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$0.00</b>

Prepared by  POSITION : FINANCE OFFICER

Confirmed by  POSITION : ACCOUNTANT

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**13.3.3 RATES EXEMPTION – LOT 25 (4) ELIZABETH PLACE, NORTHAM**

Name of Applicant:	Holyoake
File Ref:	8.1.1.3 / A14018
Officer:	Cary Green / Codey Redmond
Officer Interest:	Nil
Policy:	Nil
Voting:	Simple Majority
Date:	16 December 2015

**PURPOSE**

Seeking Council endorsement for a rate exemption on A14018 under the Local Government Act s6.26. (2)(g) land used exclusively for charitable purposes.

**BACKGROUND**

An Application for rate exemption was received 28 October 2015 from Holyoake requesting a rate exemption for the property they lease owned by Geoff Way PTY LTD.

Holyoake has provided the following documentation;

- Application for rates exemption
- Statutory Declaration supporting application
- Certificate of Incorporation
- ABN Registration
- Certification as a registered charity
- Copy of the lease
- Audited financials for year 2014/15
- Budget for Wheatbelt division for next 5 years
- Wheatbelt region annual business plan
- Holyoake's Constitution

The above documentation supports the request that the property is used exclusively for charitable purposes, as required by the Local Government Act 1995. As per requirements the Owner has paid all rates and charges for 2015/2016. A refund of the rate portion of \$3,264.36 would be required, if this exemption application was successful.

**STATUTORY IMPACTS**

The Local Government Act 1995 Section 6.26(2) defines land that is not rateable, allowing Council to grant an exemption of rates.

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- (2) *The following land is not rateable land -*
- (g) land used exclusively for charitable purposes;*

**CONFORMITY WITH THE STRATEGIC COMMUNITY PLAN / CORPORATE PLAN**

Nil.

**FINANCIAL IMPLICATIONS**

The applied exemption will reduce rate revenue by \$3,264.36 for 2015/2016. Holyoake would still be required to pay all rubbish service charges and the emergency services levy applicable to this property.

**OFFICER'S COMMENT**

Holyoake's certificate of registered charity and mission statement provided support their claim as a charitable organisation. The documents provided show Holyoake meets the criteria for a rate exemption as per s6.26(2)(g) of the Local Government Act 1995. It is recommended to Council that the exemption be granted.

**RECOMMENDATION**

**That Council grant a rate exemption to Holyoake, for land leased at Lot 25 (4) Elizabeth Place, Northam. As the land meets the requirement of the Local Government Act s6.26(2)(d) being used exclusively for charitable purposes.**

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**13.3.4 RATES EXEMPTION – LOT 378 (11) FAIRWAY BEND, NORTHAM**

Name of Applicant:	Northam City Room Gospel Trust
File Ref:	8.1.1.3 / A15035
Officer:	Cary Green / Codey Redmond
Officer Interest:	Nil
Policy:	Nil
Voting:	Simple Majority
Date:	16 December 2015

**PURPOSE**

Seeking Council endorsement for a rate exemption on A13102 under the Local Government Act s6.26. (2)(d) land used or held exclusively by a religious body as a place of public worship or in relation to that worship, a place of residence of a minister of religion, a convent, nunnery or monastery, or occupied exclusively by a religious brotherhood or sisterhood.

**BACKGROUND**

An Application for rate exemption was received 19 October 2015 from Andrew Draffin as trustee for the Northam City Room Gospel Trust requesting a rate exemption as a place of worship for the property at Lot 378 (11) Fairway Bend, Northam.

Mr Draffin has provided the following documentation;

- Application for rates exemption
- Statutory Declaration supporting application
- Profit & Loss Statement (2 Years)
- Balance Sheet (2 Years)
- Source of income/ Donations

The above documentation supports the request that the property is used exclusively as a place of worship, as required by the Local Government Act 1995. The Northam City Room Gospel Trust has not paid the rates and ESL charges in anticipation of this exemption for 2015/2016.

**STATUTORY IMPACTS**

The Local Government Act 1995 Section 6.26(2) defines land that is not rateable, allowing Council to grant an exemption of rates.

**6.27 Rateable Land**

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(2) *The following land is not rateable land -*

*(d) land used or held exclusively by a religious body as a place of public worship or in relation to that worship, a place of residence of a minister of religion, a convent, nunnery or monastery, or occupied exclusively by a religious brotherhood or sisterhood.*

**CONFORMITY WITH THE STRATEGIC COMMUNITY PLAN / CORPORATE PLAN**

Nil

**FINANCIAL IMPLICATIONS**

The applied exemption will reduce rate revenue by \$865.00 for 2015/2016. The Northam City Room Gospel Trust would still be required to pay the emergency services levy applicable to this property.

**OFFICER'S COMMENT**

the Northam City Room Gospel Trust has provided the relevant documentation showing it meets the criteria for a rate exemption as per s6.26(2)(g) of the Local Government Act 1995. The building and construction was approved by council in resolution C2240, to have a place of worship built at Lot 37 Fairway Bend. It is recommended to Council that the exemption be granted.

**RECOMMENDATION**

**That Council grant a rate exemption to the Northam City Room Gospel, for Lot 378 (11) Fairway Bend, Northam. As the land meets the requirement of the Local Government Act s6.26(2)(d) being used exclusively as a place of public worship.**

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**13.4. COMMUNITY SERVICES**

Nil.

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**13.5. ENGINEERING SERVICES**

**13.5.1 TENDER 20 OF 2015 - REPLACEMENT OF BRIDGE 5029 - SPENCERS BROOK ROAD - CLACKLINE**

Name of Applicant:	Internal Report
Name of Owner:	N/A
File Ref:	8.2.9.1
Officer:	Clinton Kleynhans / Geordas Thariyath
Officer Interest:	Nil
Policy:	F3.2 Purchasing and Tendering
Voting:	Absolute Majority
Date:	24 November 2015

**PURPOSE**

For Council to approve the award of RFT 20 of 2015 for the replacement of Bridge 5029 – Spencers Brook Road – Clackline, also confirming preferred funding source option and associated time frames.

**BACKGROUND**

On the 2<sup>nd</sup> July 2015 the Shire of Northam received urgent advice from Main Roads requesting the closure of bridge No 5029 over Warranine Brook along Spencers Brook Road (Clackline) as a result of severely corroded substructure steel beam sections.

Subsequently a Waterways Report (*Appendix A*) was completed by Main Roads to explore feasible options for the future of the bridge, followed by a Level 3 Inspection performed by GHD (*Appendix B*), whom were appointed by main roads as independent engineers specialising in bridge construction and maintenance.

The Draft GHD report makes recommendation to have the bridge load rated to assess the capacity of the bridge prior to any remedial works being performed. Following the completion of the Main Roads review of the GHD report the final recommendation was to replace the bridge with either a new bridge or culvert, with preference being Option 1 of the Waterways Report, 3 x 1800mm dia. culverts.

Request for tenders were called on the 31<sup>st</sup> October in the West Australian closing on 30<sup>th</sup> November 2015, inviting tenderers to provide a lump sum price to deliver works under contract.

**STATUTORY REQUIREMENTS**

Section 3.57 of the Local Government Act 1995;

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Local Government (Functions & General) Regulations 1996 prescribe the manner in which Tenders are to be assessed.

In addition to the above, Council has an adopted Policy with respect to Regional Price Preference as set out below:

***“F 3.4 Regional Price Preference***

***Policy:*** *Council’s Regional Price Preference for locally produced goods and services will apply to all goods and services for which tenders are let, unless the Shire of Northam determines otherwise, and is to be:*

*Up to 10% with the contract is for goods and services, up to a maximum priced reduction of \$50,000.”*

This policy has been applied within the tender assessment process.

**CONFORMITY WITH THE STRATEGIC COMMUNITY PLAN / CORPORATE PLAN**

OBJECTIVE: Provide and support an effective and efficient transport network.

STRATEGY: Maintain an efficient, safe and quality road network.

**FINANCIAL IMPLICATIONS**

As this repair work was unforeseen, there was no provision made in the 2015/16 Annual Budget.

Due to the nature of works being emergency repairs, there is provision to apply through Main Roads for funding assistance provided the Local Government meet the eligibility criteria. Specifically, that evidence needs to be provided demonstrating routine and periodic maintenance of the structure has been performed by the Local Government over the life of the asset.

Staff have extracted historic data from both Synergy and archived material, which has determined a total amount of \$3,693.33 has been spent on maintenance between 2010 and 2015.

The investigations have also determined these maintenance requirements which have deteriorated to its current state was first identified in a Main Roads routine bridge inspection report back in 2009 (*Appendix C*), with no evidence that these maintenance requirements were actioned by the Shire. In consideration of the lack of evidence the Shire has been unable to provide, funding assistance through this avenue has not been approved.

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Seeking an alternative funding source the Shire has applied for a Federal Grant through the Bridge Renewal Programme (Stage 2), with the Ministers approval of proposed projects expected by the end of December, and funding available in January 2016.

It should however be noted that the grant funding is not guaranteed, and in some cases decisions for funding allocation has been deferred by the Federal Government for several months.

Alternatively should all funding opportunities be unsuccessful, funding will be sought from the Road & Bridgeworks Reserve, or consider reducing the current capital works program to re allocate funding to complete these work.

**OFFICER'S COMMENT**

There were six (6) submissions received for the advertised 22 of 2015 Tender, these being:

3. Avon Concrete.
4. ATM Civil
5. Marine and Civil
6. Australian Civil.
7. GDR Civil Contracting.
8. Ertech Pty Ltd

Submissions were assessed by the following staff:

- |                      |  |
|----------------------|--|
| 1. Geordas Thariyath | Asset Manager                          |
| 2. Tracey Pearce     | Operations Manager                     |
| 3. Clinton Kleynhans | Executive Manager Engineering Services |

In consideration of the following

Compliance criteria

- Compliance with the conditions in the request;
- Compliance with Specification;
- Financial capacity to perform the works;
- Intent to Sub-Contract;
- Declare any conflict of interest;
- Quality assurance;
- Occupational Health and Safety requirements;
- Insurance coverage;
- Public Consultation

Qualitative Criteria (Scored)

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- Pricing 50%
- Relevant Experience 25%
- Timeliness of Delivery 15%
- Safety and Risk Management 10%

**RECOMMENDATION**

- 1. Award Tender 22 of 2015 to Avon Concrete for the Lump Sum amount of \$272,512 (Ex GST);**
- 2. not commence work until a determination has been made (January 2016) on the Current Federal Government Bridge Renewal Program, as this is the preferred funding source for the project**
- 3. In the event The Bridge renewal funding is unsuccessful the funding for the bridge project to be taken from the shire of Northam road & bridge reserve**

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Shire of Northam

# EVALUATION REPORT

RFT 20 of 2015 – replacement of Bridge 5029 – Spencers Brook Road Clackline.

Prepared by Sue Connell  
1 December 2015

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**Tender 20 of 2015**  
**Replacement of Bridge 5029**



**BACKGROUND**

**Title**

The Shire of Northam issued a Request for Tender for 20 of 2015 – Replacement of Bridge 5029 – Spencers Brook Road Clackline.

**Scope**

This specification covers the Replacement of bridge 5029, Spencers Brook Road Clackline as outlined in Parts 1 to 7 including but not limited to, the supply of materials and labour as directed by the Principal or its nominated representative.

Refer to Tender Document for detailed Scope of Works.

**Contract Period**

The contract is for a period of up to six (6) weeks.

**Tendering Budget**

The work to be performed was unforeseen, there was no provision made in the 2015/16 Annual Budget.

**RFT Process**

**Council Approval**

Tenderers were invited to provide a Lump Sum that should have a validity period of Ninety (90) Days.

Works and services to be completed under contract(s) will be for:

**The replacement of Bridge 5029 Spencers Brook Road Clackline, including but not limited to, the supply of materials and labour as directed by the principal or its nominated representative.**

**Advertising Details**

Request for tenders were advertised on the 31<sup>st</sup> October 2015 in The West Australian.

**RFT Closing Date**

The tender closed on 30<sup>th</sup> November 2015.

**Tenders Received**

Tender submissions were received from the following organisations.

- (a) Avon Concrete
- (b) GDR Civil Contracting
- (c) Ertech
- (d) Marine and Civil
- (e) Australian Civils
- (f) ATM CIVIL

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**Tender 20 of 2015**  
**Replacement of Bridge 5029**



**THE EVALUATION**

**Participants**

An evaluation panel assessed each tender submission. Details on members of the panel are contained within the below table.

Name	Organisation	Title	Basis of Participation
Geordas Thariyath	Shire of Northam	Asset Manager	Lead Assessor
Tracey Pearce	Shire of Northam	Operations Manager	Assessor
Clinton Kleynhans	Shire of Northam	Executive Manager Engineering Services	Assessor

**Compliance Evaluation**

**A. Compliance Criteria**

The compliance criteria for this RFT were:

- Compliance with the conditions in the request;
- Compliance with Specification;
- Occupational Health and Safety requirements;
- Public Consultation
- Risk Assessment of:
  - o Financial capacity to perform the works;
  - o Intent to Sub-Contract;
  - o Potential conflict of interest;
  - o Insurance coverage;
  - o Quality assurance;

Compliance Criteria were evaluated on a "Yes/No" basis. All submissions were processed through to the qualitative/price evaluation on the basis that all compliance criteria had been met.

**B. Qualitative Assessment**

The qualitative criteria for this tender were:

- |                                |     |
|--------------------------------|-----|
| (a) Pricing                    | 50% |
| (b) Relevant Experience        | 25% |
| (c) Timeliness of Delivery     | 15% |
| (d) Safety and Risk Management | 10% |

The qualitative assessment was completed on 2/12/2015

**C. Qualitative Scores & Pricing**

For Scoring and pricing refer to the following appendices;

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**Tender 20 of 2015**  
**Replacement of Bridge 5029**



**Appendix A - Evaluation Matrix**

**D. Short-listing**

Avon Concrete.

**Referee Reports**

The Following Referee was contacted for Avon Concrete.

Referee Contact	Comments

**RECOMMENDATION FOR AWARD**

Giving consideration that all Evaluation Criteria being marginal in difference with exception of Pricing, it is recommended Avon Concrete, is awarded this Tender on the basis of having best value for money offered to the Principal.

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**Tender 20 of 2015**  
**Replacement of Bridge 5029**



**Recommended by Evaluation Panel Assessors**

Name	Geordas Thariyath				
Sign	_____	Date	/	/	/
Name	Clinton Kleynhans				
Sign	_____	Date	/	/	/

**Approved by CEO**

Name	Jason Whiteaker				
Sign	_____	Date	/	/	/

**Endorsed by Council**

Date	/	/	/
------	---	---	---

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**APPENDIX A**



**Waterways Report Number 944**

**Bridge No. 5029  
Over Warranine Brook  
On Spencers Brook Road**

**Structure Replacement Options**

**Wheatbelt Region**



RN 944 prepared by:  
R. Vegvary, E. Cheung, A. Tierney, M. Chong & M. Nguyen

Issued: July 2015

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Appendix C	RORB Model
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Appendix E	Hydraulic – AFFLUX
Appendix F	Hydraulic – HEC-RAS

#### DOCUMENT CONTROL

Revision	Date	Prepared	Reviewed	Approved
0	10/07/2015	RV/EC/AT/MC/MN	MN	MN

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Bridge No. 5029

Waterways Section  
RN 944

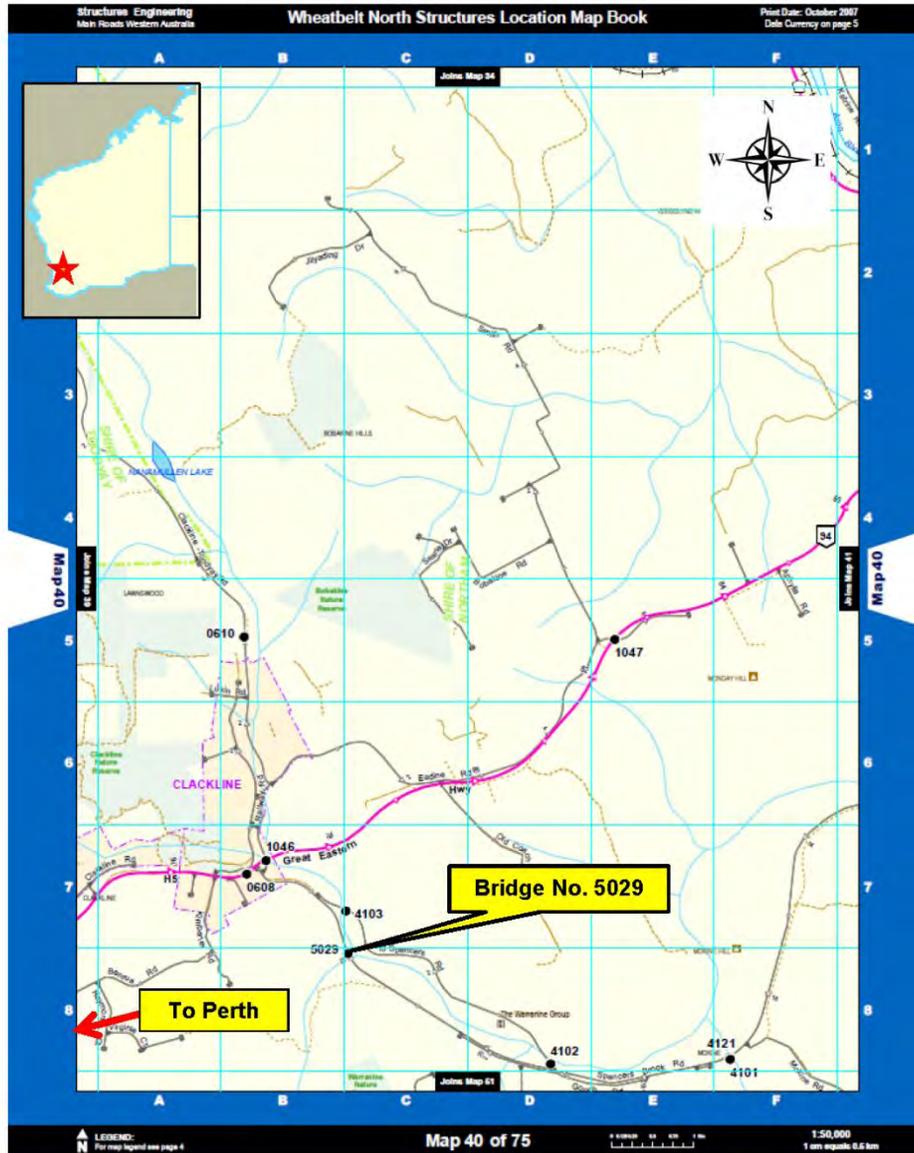


Figure 1: Locality Plan

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Bridge No. 5029

Waterways Section  
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## 1. INTRODUCTION

Bridge No. 5029 is located on Spencers Brook Road, crossing Warranine Brook in the Wheatbelt region (Figure 1). This bridge is a single span, steel I-Beam and concrete slab structure. The structural properties of Bridge No. 5029 is presented in Table 1.

**Table 1: Structural properties of Bridge No. 5029**

Type	Number of Spans	Span Dimensions (m)	Clear Span Length (m)	Maximum Head Room (m)
Steel I-Beam, concrete slab	1	6.1	4.0	2.26

The memorandum attached to the detailed structures (Level 2) inspection report for this bridge (TRIM Record Number D15#364406), noted that *"the condition of certain structural components has deteriorated to such an extent that the load carrying capacity is less than full capacity"* and recommended urgent detailed structural assessment of the bridge, in particular *"Load rating of steel beams"* (Ken Wong, 26/6/2015).

As a result of the potential bridge collapse, the Shire of Northam closed the bridge on 2 July 2015 and provided an alternate traffic route via Old Spencers Rd.

The Wheatbelt region has requested Waterways Section to assess the waterways capacity of the existing bridge and propose options to replace the deteriorating bridge.

The purpose of this report is to document the hydraulic performance of Bridge No. 5029 and propose replacement options for the structure.

## 2. HYDROLOGY

### 2.1 Catchment Characteristics

The catchment of Warranine Brook at Bridge No. 5029 was demarcated using 30 m DEM and the software ArcGIS (Appendix A). The characteristics of this catchment is summarised in Table 2.

**Table 2: Catchment characteristics of Warranine Brook at Bridge No. 5029**

Warranine Brook Catchment Characteristics				
Area (km <sup>2</sup> )	Length (km)	Slope (m/km)	Annual Rainfall (mm)	% Clearing
176	33	4.7	595	65

This catchment consists of rural farmland and there are numerous dams within. The runoff routing model in Section 2.4 includes a rough estimate of volume retention of these dams.

An additional catchment for Stream Gauging Station 615028 (Spencers Brook Mouth) was analysed as part of the peak flow estimation process (Section 2.3). The characteristic of this catchment is summarised in Table 3.

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Bridge No. 5029

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**Table 3: Catchment characteristics of Stream Gauging Station 615028**

Stream Gauging Station 615028 Catchment Characteristics				
Area (km <sup>2</sup> )	Length (km)	Slope (m/km)	Annual Rainfall (mm)	% Clearing
366	49	4.2	595	65

## 2.2 Rainfall Analysis – Intensity Frequency Duration (IFD)

The design rainfall intensity frequency duration (IFD) values and chart were computed using the method described in AR&R87 for Bridge 5029 at the centroid of Warranine Brook catchment (Appendix B).

The recorded rainfall information used for this analysis was collected from Rainfall Gauge Station 10166 (Southbourne), located approximately 12 km from the centroid of Warranine Brook catchment.

## 2.3 Rational and Flood Index Methods - Australian Rainfall and Runoff 1987 (AR&R87)

The Wheatbelt region rational and index flood methods as recommended by Australian Rainfall and Runoff 1987 (AR&R87) were used to estimate the design peak flows at Bridge No. 5029. The soil and clearing characteristics of these catchments resembled the loamy and lateritic catchment description. The 100 year ARI peak flows were determined via log extrapolation.

The estimated peak flows for Bridge No. 5029 are summarised in Table 3. Detailed calculations are included in Appendix B.

**Table 3: Estimated peak flows at Bridge No. 5029**

Method	Design ARI (Years) / Estimated Peak Flow (m <sup>3</sup> /s)					
	2	5	10	20	50	100
<b>Rational</b>	8	15	25	42	70	90
<b>Index</b>	8	16	28	49	90	96

The estimated peak flows at Stream Gauging Station 615028 are summarised in Table 4. Detailed calculations are included in Appendix B.

**Table 4: Estimated peak flows at Stream Gauging Station 615028**

Method	Design ARI (Years) / Estimated Peak Flow (m <sup>3</sup> /s)					
	2	5	10	20	50	100
<b>Rational</b>	12	23	38	65	106	137
<b>Index</b>	12	25	44	75	140	149

## 2.4 Runoff Routing Method using RORB

A runoff routing model using the software RORB was also created as an attempt to verify the peak flows estimated by the AR&R87 Wheatbelt Region Rational and Flood Index methods.

The Warranine Brook was divided into thirteen sub-catchments (labelled A to M) as shown in Appendix C. The runoff routing parameters used were as recommended by AR&R87 and are summarised in Table 5.

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**Table 5: Runoff routing parameters**

Losses	Design ARI (Years)					
	2	5	10	20	50	100
IL (mm)	20.5	26.3	28.6	25.0	26.3	26.3
CL (mm/hr)	3	3	3	3	3	3

The loss values recommended as a guide by AR&R87 tend to overestimate the peak flows in the Wheatbelt region. However due to the lack of supporting recorded information the conservative approach was adopted.

As discussed the number of dams within each of the sub-catchments were estimated from the satellite imagery and incorporated into the ROORB model as retention storage. Various rainfall intensities from the design IFD calculation have been assumed as the depth of rainfall captured by the ineffective catchment area due to the dams. Detail of the dam calculation is included in Appendix C.

The Department of Water relationship between volume and surface area equation for the south-west of WA was not used due to site incompatibility.

The result from the runoff routing model is presented in Table 6.

**Table 6: Runoff routing estimated peak flows**

ROORB Peak Flow	Design ARI (Years) / Estimated Peak Flow (m <sup>3</sup> /s)					
	2	5	10	20	50	100
No dam	20	28	44	126	127	193
With dams	6	12	20	27	35	42

## 2.5 Flood Frequency Analysis (FFA)

A streamflow gauged station (615028) was identified in close proximity to Warranine Brook. Unfortunately this station only contained 4 years' worth of reliable flow data (6 years in total with 2 years incomplete). This is not a large enough population dataset to confidently determine an answer from flood frequency analysis (FFA).

Nevertheless a FFA was completed in order to utilise all available information. The results of the FFA using the software HEC-SSP 2.0 is summarised in Table 7 and Figure 2.

**Table 7: Flood frequency analysis Stream Gauging Station 615028**

Confidence Interval	Design ARI (Years) / Estimated Peak Flow (m <sup>3</sup> /s)					
	2	5	10	20	50	100
5%	25	76	124	176	245	294
LPIII	11	17	21	24	26	28
95%	6	10	12	13	14	15

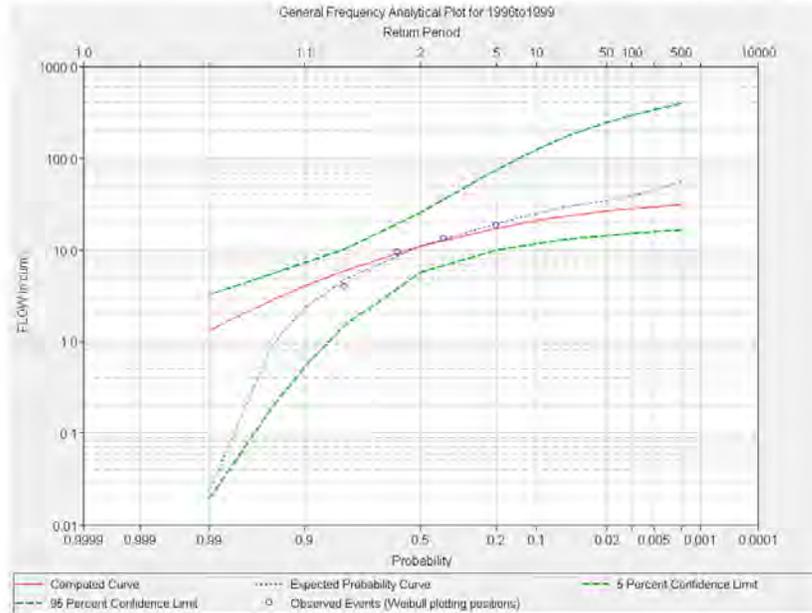
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**Figure 2: FFA at Stream Gauging Station 615028**

The results from Station 615028 were based on a catchment area of 366 km<sup>2</sup>. Areal scaling was required to be applied to this result in order to relate the peak flows to Warranine Brook at Bridge No. 5029. The scaling results are presented in Table 8.

**Table 8: Flood frequency analysis Station 615028 scaled to Bridge 5029**

Confidence Interval	Design ARI (Years) / Estimated Peak Flow (m <sup>3</sup> /s)					
	2	5	10	20	50	100
5%	15	45	74	106	147	176
LP III	7	10	12	14	16	17
95%	3	6	7	8	9	9

The FFA results show that due to only 4 years' worth of recorded data the confidence band is unrealistically wide. Therefore this result cannot be used.

## 2.6 Adopted Design Flow

The adopted design flows were determined based on the results of the described peak estimate methods. These flows are summarised in Table 9.

**Table 9: Adopted design flows**

Adopted Design Flow	Design ARI (Years) / Estimated Peak Flow (m <sup>3</sup> /s)					
	2	5	10	20	50	100
	6	12	20	27	35	42

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The adopted design flows were determined based on the following considerations:

- The adopted design flows were based on the runoff routing model results with the inclusion of dam retention storage.
- There are numerous farm dams within the Warranine Brook catchment that would retain volumes of precipitation and significantly reduce the calculated peak flows.
- Even though the recommended loss parameters for runoff routing are generic and typically reflect less permeable soils, they were adopted due to lack of contrary information.
- In general the rational and flood index methods as recommended by AR&R87 overestimate peak flows in the Wheatbelt region. The overestimation has been observed to be in the order of 30% to 60% depending on the properties of the catchments.
- The sample size of Station 615028 used for FFA was very small, therefore was not reliable and was not used for validation.

### 3. HYDRAULICS

#### 3.1 Site Visit, Survey and Anecdotal Information

A site visit was conducted by MRWA Graduate Engineers (GE), Anne Tierney and Matt Chong, and Opus International Consultants Engineer, Andre D'Sanges on 8 July 2015.

During this site visit the following information were collected:

- Survey of cross section and long section of Warranine Brook at judiciously selected locations.
- Survey of the Spencers Brook Road over Warranine Brook.
- Photographs and site notes describing the waterway characteristics of Warranine Brook and surrounding area.

All site visit information is included in Appendix D.

No anecdotal information was gathered during this site visit.

There have been no historical records or recollection of water overtopping Spencers Brook Road at this bridge location.

##### 3.1.1 Important Site Observation

- Bridge No. 5029 spans over the non-perennial Warranine Brook. During the 8 July 2015 site visit slow flowing water was observed in the brook at a depth of approximate 0.40 m at the bridge. This water was the result of heavy rainfall event on 7 July 2015 and some antecedent rainfall the days prior. This rainfall was assessed to be less than a 2 year ARI event (close to an annual flow). Based on the debris markings it was likely that the water peaked at approximately 0.50 m from the brook bed at the Bridge No. 5029. This validates the hydraulic results the following sections.
- There is a small timber footbridge with concrete pilings approximately 15 m upstream of Bridge No. 5029. Hydraulic results show that this bridge has no impact on the performance of Bridge No. 5029.
- Warranine Brook has a defined channel approximately 2.0 m deep and 12.0 m wide. This has been calculated to convey the between the 5 and

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10 year ARI flow before the water spreads on a floodplain approximately 70 m on both sides of the channel and becomes a wide sheet flow.

### 3.2 Design Serviceability Criteria

Spencers Brook Road is classified as a rural minor road and therefore based on Austroads standards require a recommended minimum serviceability level of 10 to 20 year ARI. The extract of the Austroads serviceability requirement guide is summarised in Table 10.

**Table 10: Austroads serviceability requirement guide**

Road Type	Minimum Serviceability Requirement
Freeways and arterial roads	50 to 100 year ARI
Minor urban roads	20 to 50 year ARI
Rural main roads	20 to 50 year ARI
Rural minor roads	10 to 20 year ARI
Rural local access roads	5 to 10 year ARI

Based on the results of Section 3.4 the existing bridge is dry serviceable for the 20 year ARI event. Therefore a minimum dry 20 year ARI serviceability level will be adopted for design of the proposed options.

### 3.3 Hydraulic Software

The following hydraulic software were used to assess the performance of the existing bridge and proposed replacement options:

1. AFFLUX
2. HEC-RAS

The results from these assessments are included in Appendix E and Appendix F.

Note that the bridge is on a superelevation and therefore the critical road level for serviceability was taken to be 200 mm over the upstream road level.

### 3.4 Performance of Existing Structure – Bridge No. 5029

The performance of the existing bridge is summarised in Table 11.

**Table 11: Performance of Bridge No. 5029**

U/S Road Level		3.08 m RL				
ARI	Peak Flow (m <sup>3</sup> /s)	Stage (m RL)	USWL (m RL)	Backwater (mm)	Maximum velocity (m/s)	Serviceability (Wet / Dry)
2	6	1.07	1.36	0.29	2.44	Dry
5	12	1.45	1.89	0.44	3.09	Dry
10	20	1.81	2.52	0.71	3.66	Dry
20	27	2.00	3.00	1.00	4.05	Dry
50	35	2.28	3.33	1.05	1.89	Unserviceable
100	42	2.45	3.37	0.92	1.99	Unserviceable

An additional HEC-RAS model was created to assess the performance of the existing bridge without the upstream footbridge. The results are summarised in Table 12.

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**Table 12: Performance of Bridge No. 5029 without upstream footbridge**

U/S Road Level		3.08 m RL				
ARI	Peak Flow (m <sup>3</sup> /s)	Stage (m RL)	USWL (m RL)	Backwater (mm)	Maximum velocity (m/s)	Serviceability (Wet / Dry)
2	6	1.07	1.36	0.29	2.44	Dry
5	12	1.45	1.89	0.44	3.09	Dry
10	20	1.81	2.52	0.71	3.66	Dry
20	27	2.00	3.00	1.00	4.05	Dry
50	35	2.28	3.33	1.05	1.89	Unserviceable
100	42	2.45	3.37	0.92	1.99	Unserviceable

The results from Table 11 and Table 12 showed that the upstream footbridge has no impact on the performance of Bridge No. 5029. The proposed options have been designed with the inclusion of the footbridge under the assumption it will not be demolished.

### 3.5 Proposed Replacement Options

A total of five different options were investigated in this assessment. All options are summarised in Table 13.

**Table 13: Summary of proposed replacement options**

Option	Structure Type	Structure Dimension	Floodway Length (m)	Serviceability (Year ARI)
1	Culvert	3 x Ø1800mm RCP	None	20 Dry / 100 Wet
2	Culvert	3 x Ø2100mm RCP	None	50 Dry / 100 Wet
3	Culvert	2 x 2100mm x 1800mm RCBC	None	20 Dry / 100 Wet
4	Culvert	3 x 2100mm x 1800mm RCBC	None	50 Dry / 100 Wet
5	Bridge	6.0 m Precast Bridge	None	50 Dry / 100 Wet

Each option were selected and designed based on the following consideration:

- No road horizontal and vertical realignment
- Minimal impact to existing flow regime and water levels

The hydraulic results of these options are presented in the following sections.

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#### 3.5.1 Option 1 – 3 x Ø1800mm RCP

Option 1 is to replace Bridge No. 5029 with 3 x Ø1800mm RCP. The HEC-RAS result for this option is presented in Table 14.

**Table 14: Option 1 - 3 x Ø1800mm RCP**

U/S Road Level		3.08 m RL				
ARI	Peak Flow (m <sup>3</sup> /s)	Stage (m RL)	USWL (m RL)	Backwater (mm)	Maximum velocity (m/s)	Serviceability (Wet / Dry)
2	6	1.07	1.07	0.00	1.68	Dry
5	12	1.45	1.66	0.21	2.12	Dry
10	20	1.81	2.43	0.62	2.66	Dry
20	27	2.00	3.02	1.02	3.22	Dry
50	35	2.28	3.17	0.89	3.06	Wet
100	42	2.45	3.25	0.80	2.94	Wet

This option is dry serviceable for 20 year ARI and wet serviceable for 100 year ARI.

#### Rock Protection Requirements

The velocity from the hydraulic results shows that the required rock is ¼ tonne. However, when considered with site observations it is recommended that no rock protection is required for this option.

#### 3.5.2 Option 2 – 3 x Ø2100mm RCP

Option 2 is to replace Bridge No. 5029 with 3 x Ø2100mm RCP. The HEC-RAS result for this option is presented in Table 15.

**Table 15: Option 2 - 3 x Ø2100mm RCP**

U/S Road Level		3.08 m RL				
ARI	Peak Flow (m <sup>3</sup> /s)	Stage (m RL)	USWL (m RL)	Backwater (mm)	Maximum velocity (m/s)	Serviceability (Wet / Dry)
2	6	1.07	1.07	0.00	1.47	Dry
5	12	1.45	1.52	0.07	1.84	Dry
10	20	1.81	2.13	0.32	2.26	Dry
20	27	2.00	2.71	0.71	2.67	Dry
50	35	2.28	3.07	0.79	2.89	Dry
100	42	2.45	3.18	0.73	2.81	Wet

This option is dry serviceable for 50 year ARI and wet serviceable for 100 year ARI.

#### Rock Protection Requirements

The velocity from the hydraulic results shows that the required rock is light class. However, when considered with site observations it is recommended that no rock protection is required for this option.

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#### 3.5.3 Option 3 – 2 x 2100mm x 1800mm RCBC

Option 3 is to replace Bridge No. 5029 with 2 x 2100mm x 1800mm RCBC. The HEC-RAS result for this option is presented in Table 16.

**Table 16: Option 3 - 2 x 2100mm x 1800mm RCBC**

U/S Road Level		3.08 m RL				
ARI	Peak Flow (m <sup>3</sup> /s)	Stage (m RL)	USWL (m RL)	Backwater (mm)	Maximum velocity (m/s)	Serviceability (Wet / Dry)
2	6	1.07	1.09	0.02	1.64	Dry
5	12	1.45	1.73	0.28	2.32	Dry
10	20	1.81	2.47	0.66	2.82	Dry
20	27	2.00	3.02	1.02	3.24	Dry
50	35	2.28	3.17	0.89	3.07	Wet
100	42	2.45	3.25	0.80	2.94	Wet

This option is dry serviceable for 20 year ARI and wet serviceable for 100 year ARI.

#### Rock Protection Requirements

The velocity from the hydraulic results shows that the required rock is ¼ tonne. However, when considered with site observations it is recommended that no rock protection is required for this option.

#### 3.5.4 Option 4 – 3 x 2100mm x 1800mm RCBC

Option 4 is to replace Bridge No. 5029 with 3 x 2100mm x 1800mm RCBC. The HEC-RAS result for this option is presented in Table 17.

**Table 17: Option 4 - 3 x 2100mm x 1800mm RCBC**

U/S Road Level		3.08 m RL				
ARI	Peak Flow (m <sup>3</sup> /s)	Stage (m RL)	USWL (m RL)	Backwater (mm)	Maximum velocity (m/s)	Serviceability (Wet / Dry)
2	6	1.07	1.07	0.00	1.05	Dry
5	12	1.45	1.45	0.00	1.48	Dry
10	20	1.81	1.98	0.17	1.86	Dry
20	27	2.00	2.60	0.60	2.38	Dry
50	35	2.28	3.03	0.75	2.80	Dry
100	42	2.45	3.15	0.70	2.75	Wet

This option is dry serviceable for 50 year ARI and wet serviceable for 100 year ARI.

#### Rock Protection Requirements

The velocity from the hydraulic results shows that the required rock is light class. However, when considered with site observations it is recommended that no rock protection is required for this option.

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#### 3.5.5 Option 5 – 6.0 m Precast Bridge

Option 5 is to replace Bridge No. 5029 with a 6.0 m Precast Bridge. The HEC-RAS result for this option is presented in Table 18.

**Table 18: Option 5 – 6.0 m Precast Bridge**

U/S Road Level		3.08 m RL				
ARI	Peak Flow (m <sup>3</sup> /s)	Stage (m RL)	USWL (m RL)	Backwater (mm)	Maximum velocity (m/s)	Serviceability (Wet / Dry)
2	6	1.07	1.30	0.23	2.25	Dry
5	12	1.45	1.69	0.24	2.52	Dry
10	20	1.81	2.14	0.33	3.06	Dry
20	27	2.00	2.56	0.56	3.56	Dry
50	35	2.28	2.96	0.68	3.89	Dry
100	42	2.45	3.27	0.82	4.14	Wet

This option is dry serviceable for 50 year ARI and wet serviceable for 100 year ARI.

#### Rock Protection Requirements

The velocity from the hydraulic results shows that the required rock is ¼ tonne. However, when considered with site observations it is recommended that no rock protection is required for this option.

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#### 4. CONCLUSION AND RECOMMENDATION

The results of this waterways investigation is summarised in Table 19.

**Table 19: Performance summary of existing and proposed options**

Performance Summary of Existing and Proposed Options					
Road Name / Type:		Spencers Brook Road		Rural minor road	
Minimum / Design Serviceability:		10 to 20 year ARI		20 year (dry)	
Option	Structure Type	Structure Dimension	Floodway Length (m)	Rock Protection (Class)	Serviceability (Year ARI)
Existing	Bridge	4.0 m clear span	None	None	20 Dry
1	Culvert	3 x Ø1800mm RCP	None	None	20 Dry / 100 Wet
2	Culvert	3 x Ø2100mm RCP	None	None	50 Dry / 100 Wet
3	Culvert	2 x 2100mm x 1800mm RCBC	None	None	20 Dry / 100 Wet
4	Culvert	3 x 2100mm x 1800mm RCBC	None	None	50 Dry / 100 Wet
5	Bridge	6.0 m clear span	None	None	50 Dry / 100 Wet

Based on the assessment presented in this report the recommended replacement option for Bridge No. 5029 is:

- Option 1: 3 x Ø1800mm RCP
- No rock protection is required for this option.

It should be noted that based on site observations flood waters for extreme events greater than the 50 year ARI will likely overtop the Spencers Brook Road on the south eastern side of the bridge (approximately 70 m from the bridge) before the bridge gets overtopped.

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**APPENDIX B**



DRAFT.



**Main Roads WA**

Bridge No. 5029  
Level 3 Inspection of Beams

July 2015

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**Appendices**

Appendix A - Photographs

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## 1. Introduction

### 1.1 Background

Bridge No. 5029 is a steel bridge located on Spencers Brook Road at SLK 22.08 over Warranine Brook in the Shire of Northam (refer locality plan below). The bridge is owned and controlled by the local authority.

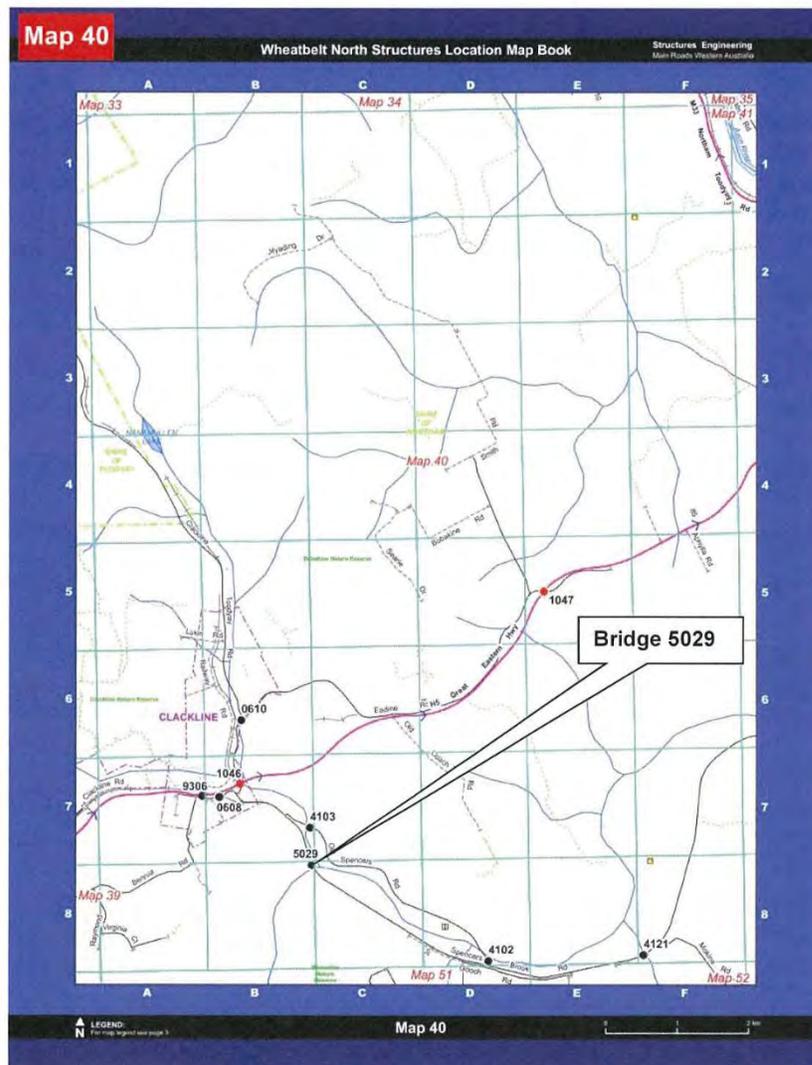


Figure 1 - Locality Plan

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MRWA has advised GHD that there are no available drawings for this bridge.

#### **1.2 Purpose of Report**

The intent of this report is to quantify the condition of Beam 9 and the other beams supporting the deck, and to highlight other areas of corrosion that may affect the bridge's performance.

## **2. Scope of Work**

#### **2.1 General**

Broadly, the scope of work for this commission was to:

1. Undertake a site inspection of the Bridge's major components, particularly the steel beams which reportedly had significant corrosion.
2. Measure the extent of the remaining steel of the beams
3. Submission of a written report presenting current condition, measurements taken and potential remedial recommendations.

All these tasks were performed in general accordance with MRWA Document No. 6706-02-2241 titled "Detailed Non-Destructive Bridge Inspection Guidelines, Concrete and Steel Bridges, (Level 3 Inspections)".

The site investigation was performed on the 15<sup>th</sup> July 2015. The weather was generally overcast and cool throughout the investigation, and the water beneath the bridge was approximately 100 mm deep.

The following sections outline the techniques used to evaluate the in situ condition of Bridge No. 5029.

#### **2.2 Visual Inspections**

A visual inspection of the accessible components of the bridge was undertaken from safe vantage points on the ground, from the road surface and from a ladder. The inspection primarily sought to identify visible defects to the beams, although significant defects to miscellaneous components were also inspected. In addition, the visual inspection also identified the particular beams that were considered representative of all beams and to be subjected to a more detailed investigation to assess their condition.

The type and extent of visible defects were recorded onto site notes. Photographs of typical and/or significant defects were taken.

#### **2.3 Site Measurements**

Measurements of significant details of the bridge were made in order to quantify the extent of steel lost to corrosion, and to gather input for a load rating of the bridge. Measurement was performed using tapes, vernier gauges (after localised removal of most rust using a hammer and wire brush) and an ultrasonic thickness gauge (after localised removal of almost all rust using a grinder).

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## 3. Summary of Investigation Results

### 3.1 Geometry

A plan sketch of the bridge is shown in Figure 2 below.

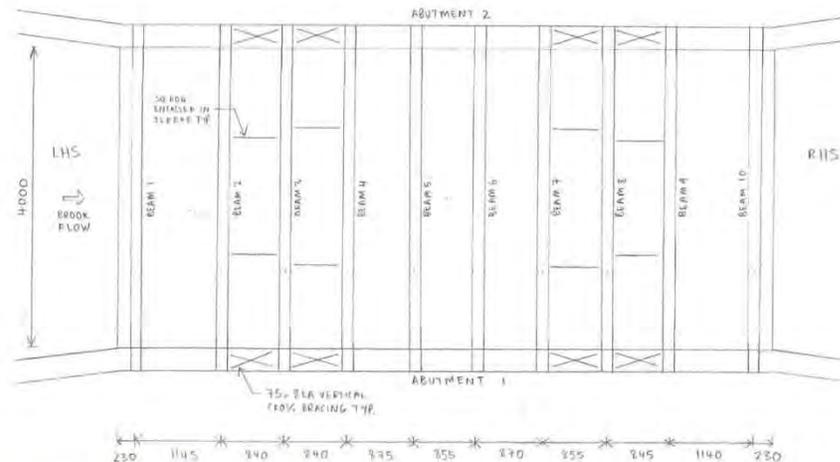


Figure 2 - Plan of Bridge No. 5029

Measurements and observations from site indicate that:

1. The bridge occurs on a right hand curve and is superelevated. The level of the road falls from the left hand side to the right hand side.
2. The road above has a bituminous seal, a width between the kerbs of 8.2 m and a 250 mm wide kerb at each side.
3. The bridge has a single span of 4.4 m between centrelines of the concrete abutments and a clear span of 4 m.
4. The deck is supported by 10 steel tapered flanged beams. 52 rail sections span transversely across the beams, cantilevering beyond the outer-most beams' flange by around 150 mm at each end. A concrete slab (that appears to be a minimum 350 mm thick) has been cast on and above the rails; and continues upwards to form the outer edges of the kerbs. Beam 9 has experienced significant corrosion to its web at both ends of the beam.
5. There is a w-beam guardrail erected along both sides of the carriageway above the bridge. The steel channel posts of the guardrails are connected to the top of the kerbs. The guardrail does not meet current MRWA standards.

Anecdotal information from a farmer living nearby is that the bridge was constructed in the 1930s, originally as a rail bridge.

In more recent times, a pedestrian bridge was installed on the left hand side of the bridge as part of a tourist walk in the area. Warranine Brook flows under the pedestrian bridge prior to flowing under Bridge No. 5029. A concrete abutment and pier that support the pedestrian

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bridge directed the brook's flow to the rear of Abutment 1 of Bridge No. 5029 and caused scouring to the soil behind Abutment 1.

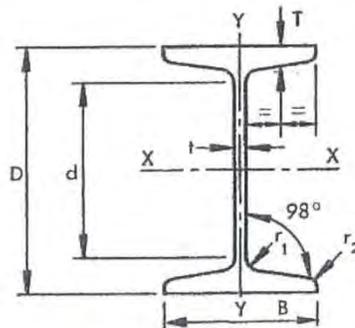
### 3.2 Beams

#### 3.2.1 General

The 10 beams were similar to one another however they varied slightly in depth, width and thickness of web and flange. Due to the age of the bridge, the exact beam type that was used cannot be confirmed however the standard beam closest in properties to the beams appears to be a 14 x 5<sup>1</sup>/<sub>2</sub> x 40 taper flange beam.

The properties of a 14 x 5<sup>1</sup>/<sub>2</sub> x 40 taper flange beam are shown below.

Depth D (mm)	Width B (mm)	Weight (kg/m)	Flange Thickness T (mm)	Web Thickness t (mm)	Depth Between Fillets d (mm)
356	140	59.5	15.9	9.4	289



**Figure 3 - Taper Flange**

There is 75 x 8 EA cross bracing at both of the abutments between Beams 2 and 3, Beams 3 and 4, Beams 7 and 8, and Beams 8 and 9. Between these same beams there is 30 mm diameter rods encased within hollow sleeves. The rods are located at approximately 1.1 m from each abutment.

#### 3.2.2 Visual Condition

All of the beams have experienced significant and widespread surface corrosion due to the age and location of the bridge. Widespread pitting was also evident.

Beam 9 has suffered significant corrosion to its web at locations adjacent to the abutments. The corrosion has created perforations in the web at both ends. The location of the corrosion is especially problematic because the shear load in the beam is at its highest above the abutment. The corrosion has therefore rendered Beam 9 ineffective because it cannot transfer vertical load to the abutment. The length of ineffective web is of Beam 9 is 1900 mm from the face of Abutment 1 and 700 mm from the face of Abutment 2. This causes a redistribution of load to the neighbouring Beams 8 and 10, which may mean that these beams are loaded higher than originally intended.

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Beam 5 has experienced slightly higher corrosion than the other beams, excluding Beam 9. The corrosion is most significant adjacent to Abutment 2 where there is approximately 700 mm length of web (measured from the face of Abutment 2) that can be considered ineffective due to small perforations and significant loss of web thickness.

#### **3.2.3 Measurements**

The dimensions and thickness for each beam measured on site are detailed in Table 1. The flange thickness measurements were taken from the mid-point (approximately) of the flange outstand.

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**Table 1 – Measured Beam Dimensions**

Beam No.	Depth (mm)	Bottom Flange Width (mm)	Bottom Flange Thickness at Midspan (mm)	Web Thickness Adjacent Abutment 1 (mm)	Web Thickness at Midspan (mm)	Web Thickness Adjacent Abutment 2 (mm)
1	360	155	18.2	10.6 mid-height 9.5 bottom	6.3 mid-height 6.0 bottom	4.5 mid-height NA
2	358	155	20.4	NA	NA	NA
3	352	156	20.9	NA	4.8 mid-height 4.4 bottom	5.6 NA
4	357	155	20.4	NA	4.6 mid-height 4.1 bottom	NA NA
5	355	145	12.4	NA	6.3 mid-height 3.5 bottom	5.1 mid-height 0 bottom, isolated
6	357	155	20.6	NA	NA	NA
7	360	155	18.9	NA	NA	NA
8	357	145	18.4	NA	NA	5.0 mid-height
9	360	140	12.2	0 mid-height 0 bottom	6.0 mid-height 5.4 bottom	0 mid-height 0 bottom
10	355	155	20.4	NA	4.2 mid-height NA	4.6 mid-height 5.2 bottom

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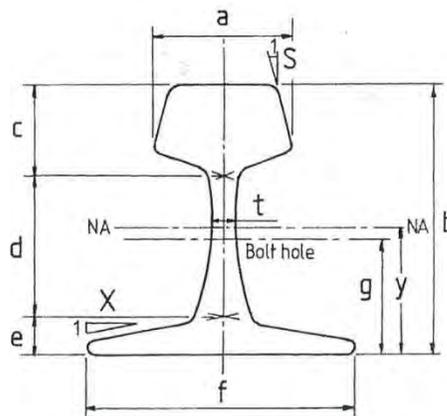
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#### 3.3 Transverse Beams

There was significant and widespread corrosion to the underside of all 52 rail sections. Measurements indicated the rust laminations were approximately:

1. 10 mm between Beams 1 and 2
2. 10 mm between Beams 9 and 10
3. 6 mm rust lamination between Beams 6 and 7.

On the basis that rust occupies around 7 to 8 times more volume than the parent metal it is from, the underside of the rails have typically lost approximately 1.5 mm of original steel.



**Figure 4 - Rail**

The rail dimensions measured from site (in millimetres) are shown below

a	b	c	e	f	t
50	95	30	7	85	10

#### 3.4 Concrete Deck

The concrete deck appears to consist of two separate layers. The bottom layer of concrete seems to have been poured when the rails were installed so that the rails are embedded into the bottom layer. The thickness of the bottom layer (excluding the rail depth) varies from approximately 280 mm at the left hand side to approximately 250 mm at the right hand side. Above this is a second layer of concrete that is probably just a kerb. The kerb height above the bottom layer of concrete varies from approximately 570 mm on the left hand side to approximately 330 mm on the right hand side. The kerb is 220 mm wide on both sides of the bridge. Between the kerbs is the road fill.

It was noticed from both sides of the bridge that the deck has relatively wide (approx. 20 mm) vertical cracks located at the midspan of the bridge. No steel reinforcement was able to be

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found when investigating the cracks, suggesting (but not confirming) that the deck is unreinforced and that the deck may be relying upon the rails to act as support.

#### **3.5 Concrete Abutments & Wing Walls**

Each abutment consisted of concrete main walls and concrete wing walls on both sides of the main wall. The main walls have some medium etching, while the wing walls have experienced significant cracking and deep etching. As indicated earlier, the soil behind the Abutment 1 left hand side wing wall has scoured.

## **4. Discussion**

#### **4.1 Beams**

Beams 5 and 9 require remedial action due to the obvious and significant amount of corrosion loss to their webs. Remedial options include beam replacement (requiring propping of the deck); augment the existing beam with placement of additional, adjacent beams (requiring difficult access); and beam repair, say welding of new plates to the existing beams (requiring a considerable amount of on-site welding, and the remaining thickness in a lot of areas may be inadequate to properly weld). If these two beams were considered in isolation, it would most likely be most cost effective to replace the two beams.

The other beams may also have experienced a significant loss of steel thickness since the bridge was constructed.

#### **4.2 Transverse Beams**

Only the condition of the underside and ends of the transverse rail beams was able to be addressed on site. The undersides of the rails are badly corroded and may have experienced significant section loss. The capacity of the rails is questionable and should be investigated further. It is likely that the rails will continue to corrode further because of the wide vertical cracks in the concrete deck which will continue to allow water to seep through the deck and onto the rails.

#### **4.3 Concrete Deck**

As mentioned above, the large vertical cracks in the deck will likely promote further corrosion of the transverse rail beams and in turn the ten main taper flange beams. The deck appears to be unreinforced and relies upon the rail beams to transfer load to the main beams. This is not a structurally effective method for transferring the weight of the concrete deck.

#### **4.4 Concrete Abutments & Wing Walls**

The cracking to the wing walls and the etching to the abutments and wing walls requires remedial action. Repair of the cracked wing walls is likely to comprise localised demolition and replacement of concrete or, if cracking is not too deep, shallower demolition and concrete patch repair. Repair of the etching would involve widespread, but shallow, patch repair of both abutments

#### **4.5 Bridge**

The final type and extent of remedial action will depend upon the findings of a load rating. If the beams (and probably the transverse beams) have a load rating that is unsuitable to MRWA and/or the Shire, and with consideration to the other widespread defects and inadequacies, replacement of the bridge is likely to be a cost effective remedial action.

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Remedial options would include:

1. Replacement with a with pre-cast beam bridge
2. Replacement with a reinforced concrete box culvert

The final option adopted will need to consider the discharge from the adjacent pedestrian bridge.

## **5. Recommendations**

Due to the significant and widespread corrosion of the main beams, it is recommended that a load rating be performed to assess the capacity of the bridge prior to determining any future remedial approach.

If the bridge is to re-open prior to remediation, Beams 5 and 9 (as a minimum) will require propping.

If the bridge is to be replaced, future preliminary designs should consider a pre-cast beam bridge and a reinforced concrete box culvert as options.

DRAFT.

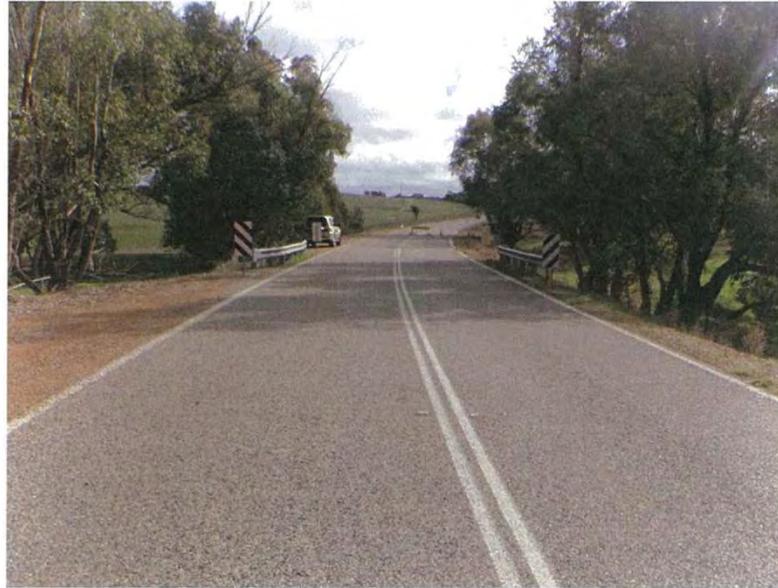
**SHIRE OF NORTHAM**  
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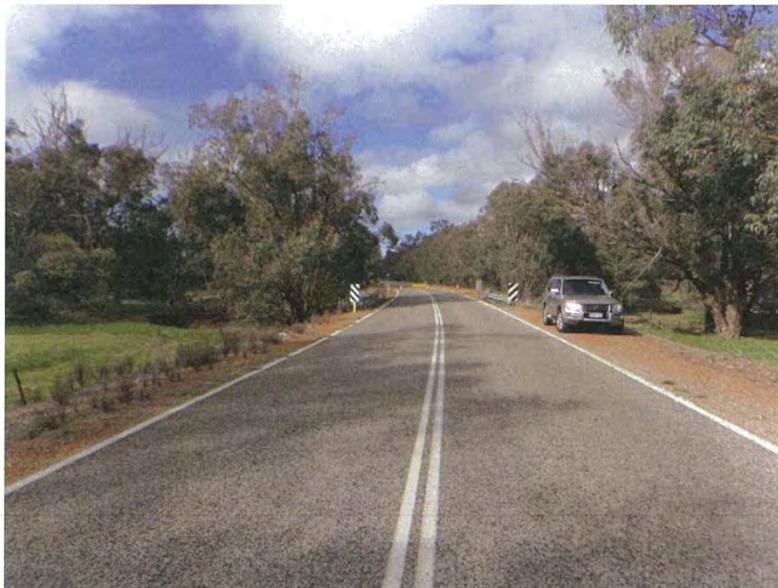
**Appendix A** - Photographs

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Photograph 1: Top of bridge from Approach 1.



Photograph 2: Top of bridge from Approach 2.

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Photograph 3: Left Hand Side of Bridge.



Photograph 4: Right Hand Side of Bridge.

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Photograph 5: Underside of bridge – note widespread corrosion to beams.



Photograph 6: Typical abutment (Abutment 2).

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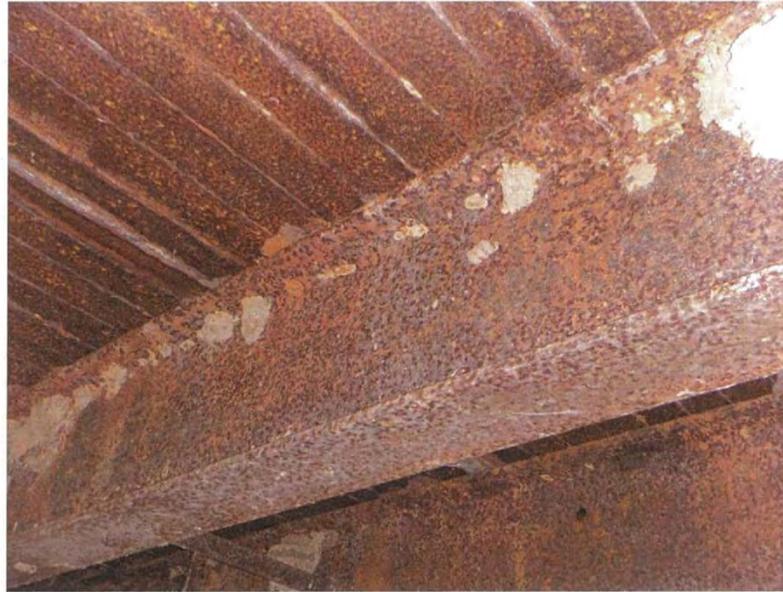
Photograph 7: Corrosion perforation to Abutment 1 end of Beam 9.



Photograph 8: Corrosion perforation to Abutment 2 end of Beam 9.

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Photograph 9: Typical corrosion to beams and transverse beams.



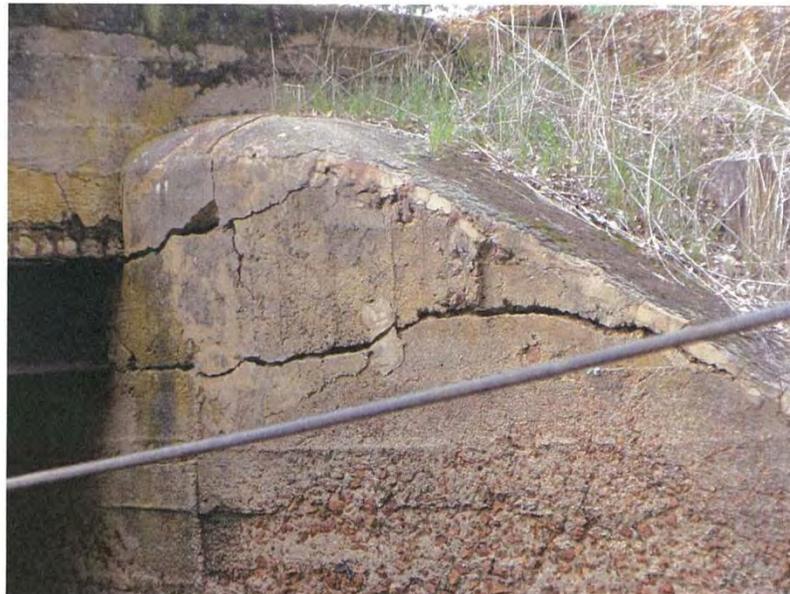
Photograph 10: Typical corrosion to beams and transverse beams.

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Photograph 11: Crack to concrete deck edge.



Photograph 12: Cracking to Abutment 1 Left Hand Side Wing Wall.

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Photograph 13: Pedestrian bridge to left hand side of Bridge 5029.



Photograph 14: Scour behind Abutment 1 Left Hand Side Wing Wall.

# SHIRE OF NORTHAM

## AGENDA

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GHD

GHD House, 239 Adelaide Tce. Perth, WA 6004  
 P.O. Box 3106, Perth WA 6832  
 T: 61 8 6222 8222 F: 61 8 6222 8555 E: permail@ghd.com.au

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Document1

Document Status

Rev No.	Author	Reviewer		Approved for Issue		
		Name	Signature	Name	Signature	Date
0	Ryan Adams	Tod Harris	<i>T Harris</i>	Tod Harris	<i>T Harris</i>	24/7/2015

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**APPENDIX C**



ABN: 50 860 676 021

Enquiries: Brendan Marsh on 9622 4777  
Our Ref: 01/541  
Your Ref:

16 April 2004

Chief Executive Officer  
Shire Of Northam  
PO Box 613  
NORTHAM WA 6401

ATTENTION: ALLAN MIDDLETON

<b>SHIRE OF NORTHAM</b> RECEIVED	
19 APR 2004	
FILE 62.1.1	STATUS NFA
DOC I1243	RES. No

Dear Sir

**BRIDGE INSPECTION REPORTS**

Please find enclosed a detailed bridge inspection report to assist with the management of your bridge program.

The report enclosed is for Bridge Number 5029;

- Spencers Brook Road crossing Warranine Brook.

Please note the importance of the Routine Maintenance items.

If you require any further information please contact me on 9622 4777. In reply please quote file reference 01/541

Yours faithfully

Brendan Marsh  
ACTING ASSET MANAGER STRUCTURES

Enc

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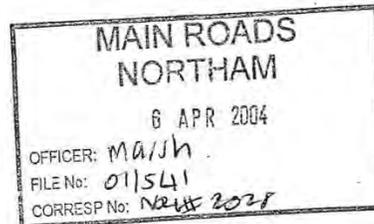
Enquiries: Bruce Hall on 9323 4556  
Our Ref: 51-5029-15  
Your Ref:



ABN: 50 860 676 021

**ASSET MANAGER STRUCTURES  
WHEATBELT NORTH REGION**

STRUCTURE No.: 5029  
OVER: Warranine Brook  
AT SLK: 21.02  
ON: Spencers Brook Rd  
ROAD No.: 4210020  
LGA: Northam



1. Please find enclosed two copies of the detailed inspection report for the above Local Authority structure.
2. Attached is a schedule of routine and specific maintenance items that are required to be undertaken in order to maintain structural integrity and extend the life of the Structure.
3. The maintenance items have been entered into IRIS for programming purposes.

Bruce Hall  
BRIDGE CONDITION MANAGER

February 20 2004

Enc

# SHIRE OF NORTHAM

## AGENDA

### COUNCIL MEETING TO BE HELD ON 16 DECEMBER 2015



#### DETAILED BRIDGE INSPECTION REPORT



### GUARD RAIL INFORMATION

Structure Number: 5029

Date: 6-Feb-2004

GUARD RAIL TYPE	APPROACH 1		ON BRIDGE		APPROACH 2	
	LHS	RHS	LHS	RHS	LHS	RHS
0 - None						
01 - Guide Posts Only						
02 - Timber						
03 - Tubular steel						
04 - Reinforced Concrete						
05 - Timber Posts with W Beam						
06 - Timber Posts with W Beam & Timber Top Rail						
07 - Timber Posts with W Beam & Steel Top Rail						
08 - Steel Posts with 1 Timber Rail						
09 - Steel Posts with 2 Timber Rails						
10 - Steel Posts with W Beam	Y	Y	Y	Y	Y	Y
11 - Steel Posts with W Beam & Timber Top Rail						
12 - Steel Posts with W Beam & Steel Channel Top Rail						
13 - Steel Posts with W Beam & Steel Pipe Top Rail						
14 - Steel Posts with Thriebeam						
15 - Steel Posts with Thriebeam and Steel Channel Top Rail						
16 - Steel Posts with 1 Steel Pipe Rail						
17 - Steel Posts with 2 Steel Pipe Rails						
18 - Steel Posts with 3 Steel Pipe Rails						
19 - Steel Posts with 1 RHS Rail						
20 - Steel Posts with 2 RHS Rails						
21 - Steel Posts with 3 RHS Rails						
22 - Reinforced Concrete Posts with 1 Steel Pipe Rail						
23 - Reinforced Concrete Posts with 2 Steel Pipe Rails						
24 - Reinforced Concrete Posts with 3 Steel Pipe Rails						
25 - Reinforced Concrete Posts with W Beam						
26 - Steel Balustrading						
27 - Steel Balustrading with W Beam						
28 - Steel Balustrading with RHS						
29 - Bailey Bridges						
30 - Other						

Location	No of Posts off Bridge	End Treatment Type	Length of Guardrail off Bridge *	Location of Min Distance – Eg Third post off Bridge	Location of Hinge point
A1 LHS	2	3	4.50	2	0
A1 RHS	2	2	4.80	6	0.9
A2 LHS		3	4.70	2	0
A2 RHS	2	2	4.60	6	0

**Types of End Treatments**

1. None 2 Fishtail 3. Bullnose 4. Extruder 5. Crash Cushion 6. Turndown 7. Other .....

\* Centre Line of abutment to end of Guardrail.

Structural Problem Found Y/N  Y If Yes, detail on comments sheet:

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**13.5.2 TENDER 19 OF 2015 - TREE PRUNING, TREE REMOVAL AND ASSOCIATED WORKS**

Name of Applicant:	Internal Report
Name of Owner:	N/A
File Ref:	8.2.9.1
Officer:	Clinton Kleynhans / John Rutherford
Officer Interest:	Nil
Policy:	F3.2 Purchasing and Tendering
Voting:	Majority
Date:	30 November 2015

**PURPOSE**

For Council to approve the award of RFT 19 of 2015 for Tree Pruning, Tree Removal and Associated Works for a period of one (1) year with an option to extend annual to a maximum of three (3) years.

**BACKGROUND**

Request for tenders were called on the 21<sup>st</sup> October 2015 in the West Australian. The tender closed on Thursday 19<sup>th</sup> November 2015.

Tenderers were invited to provide a schedule of rates to deliver works under contract for Tree Pruning, Tree Removal and Associated Works as directed by the Principal or its nominated representative.

Employee's present at the tender opening were Operations Manager and Project / Contract Administration Officer.

Tenders were independently assessed by the Parks and Gardens Supervisor, and Operations Manager.

**STATUTORY REQUIREMENTS**

Section 3.57 of the Local Government Act 1995;

Local Government (Functions & General) Regulations 1996 prescribe the manner in which Tenders are to be assessed.

In addition to the above, Council has an adopted Policy with respect to Regional Price Preference as set out below:

***"F 3.4 Regional Price Preference***

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**Policy:** *Council's Regional Price Preference for locally produced goods and services will apply to all goods and services for which tenders are let, unless the Shire of Northam determines otherwise, and is to be:*

*Up to 10% with the contract is for goods and services, up to a maximum priced reduction of \$50,000."*

This policy has been applied within the tender assessment process.

**CONFORMITY WITH THE STRATEGIC COMMUNITY PLAN / CORPORATE PLAN**

Objective: Provide and support an effective and efficient transport network.

Strategy: Maintain an efficient, safe and quality road network.

**FINANCIAL IMPLICATIONS**

A provisional sum of \$100,000 ex. gst has been included in the adopted 2015/16 Budget for the delivery of these works.

**OFFICER'S COMMENT**

There was one (1) tender submissions received for the advertised Tender, this was:

9. Specialised Tree Services.

The submission was assessed against the following pre-determined criteria's:

Compliance Criteria

- Compliance with the conditions in the request;
- Compliance with Specification;
- Financial capacity to perform the works;
- Intent to Sub-Contract;
- Declare any conflict of interest;
- Quality assurance;
- Occupational Health and Safety requirements;
- Insurance coverage;
- Public Consultation

Qualitative Criteria (Scored)

- Pricing 50%

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- Relevant Experience 25%
- Timeliness of Delivery 15%
- Safety and Risk Management 10%

Further detail is provided in the attached Appendices.

The Evaluation Panel recommends the contract be awarded to Specialised Tree Services, as the preferred supplier.

**RECOMMENDATION**

**That Council award Tender No.19 of 2015 to Specialised Tree Services for the alternative tender submitted, delivering the contract under the supplied schedule of rates for a period of one (1) year with an option to extend annually based on performance up to a maximum of three (3) years**

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Shire of Northam

# EVALUATION REPORT

RFT 19 of 2015 – Tree Pruning, Tree Removal and Associated Works.

Prepared by Sue Connell  
30 November 2015

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**Tender 19 of 2015**  
**Tree Pruning, Tree Removal and**  
**Associated Works**



**BACKGROUND**

**Title**

The Shire of Northam issued a Request for Tender for Tree Pruning, Tree Removal and Associated Works.

**Scope**

This specification covers the works and services to be performed for Tree Pruning as directed by the Principal or its nominated representative.

Refer to Tender Document for details Scope of Works.

**Contract Period**

The contract is for a period of one (1) year with an option to extend annual to a maximum of three (3) years.

**Tendering Budget**

The work to be performed is identified in the 2015/16 budget for a budgeted sum of \$100,000.00 per financial year.

**RFT PROCESS**

**Council Approval**

Tenderers were invited to provide a schedule of rates that should have a validity period of Ninety (90) Days.

Works and services to be completed under contract(s) will be for the provision of:

**Tree Pruning, Tree Removal and Associated Works.**

**Advertising Details**

Request for tenders were advertised on Wednesday 21<sup>st</sup> October 2015 in the Western Australian Newspaper.

**RFT Closing Date**

The tender closed on Thursday 19<sup>th</sup> November 2015.

**Tenders Received**

Tender submissions were received from the following organisations:

- (a) Specialised Tree Services

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**Tender 19 of 2015**  
**Tree Pruning, Tree Removal and**  
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**THE EVALUATION**

**Participants**

An evaluation panel assessed each tender submission. Details on members of the panel are contained within the below table.

<b>Name</b>	<b>Organisation</b>	<b>Title</b>	<b>Basis of Participation</b>
John Rutherford	Shire of Northam	Parks & Gardens Supervisor	Lead Assessor
Tracey Pearce	Shire of Northam	Operations Manager	Assessor
Clinton Kleynhans	Shire of Northam	Executive Manager Engineering Services	Assessor

**Compliance Evaluation**

**A. Compliance Criteria**

The compliance criteria for this RFT were:

- Compliance with the conditions in the request;
- Occupational Health and Safety;
- Risk Assessment of:
  - o Financial capacity to perform the works;
  - o Intent to Sub-Contract;
  - o Potential conflict of interest;
  - o Insurance coverage;
  - o Quality assurance;

Compliance Criteria were evaluated on a "Yes/No" basis. All submissions were processed through to the qualitative/price evaluation on the basis that all compliance criteria had been met.

**B. Qualitative Assessment**

The qualitative criteria for this tender were:

- (a) Pricing (50%)
- (b) Experience (25%)
- (c) Timeliness (15%)
- (d) Safety & Risk (10%)

The qualitative assessment was completed on 30 November 2015

**C. Qualitative Scores & Pricing**

For Scoring and pricing refer to the following appendices;

**Appendix A - Evaluation Matrix**

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**Tender 19 of 2015**  
**Tree Pruning, Tree Removal and**  
**Associated Works**



**Appendix B – Pricing Summary**

**D. Short-listing**

Specialised Tree Services.

**Referee Reports**

There were no references contacted for this tender as the Shire of Northam have worked with them previously.

Referee Contact	Comments

**RECOMMENDATION FOR AWARD**

Giving consideration that there was only one (1) tender submitted it is recommended Specialised Tree Services is awarded this Tender on the basis of having best value for money offered to the Principal.

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**Tender 19 of 2015**  
**Tree Pruning, Tree Removal and**  
**Associated Works**



**Recommended by Evaluation Panel Assessors**

Name	John Rutherford				
Sign	_____	Date	/	/	/
Name	Tracey Pearce				
Sign	_____	Date	/	/	/
Name	Clinton Kleynhans				
Sign	_____	Date	/	/	/

**Approved by CEO**

Name	Jason Whiteaker				
Sign	_____	Date	/	/	/

**Endorsed by Council**

Date	/	/	/
------	---	---	---

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**14. ELECTED MEMBERS MOTIONS OF WHICH PREVIOUS NOTICE HAS BEEN GIVEN**

**To revoke or change the following decision**

Meeting / Date	18 November 2015
Agenda Item No	13.2.2
Agenda Item Name	Request to Waiver Tipping Fees
File Reference	4.1.1.20
Resolution No	C.2578

**Notice is hereby given by the following**

	Councillor Name	Signature
1.	Cr Des Hughes	
2.	Cr Ulo Rumjantsev	
3.	Cr Chris Davidson	
4.	Cr Chris Antonio	

**MOTION**

**Moved: Cr Hughes**  
**Seconded: Cr**

**That Council revoke Minute No: C.2578 of the Council meeting held on 18 November 2015, relating to the request to waiver tipping fees.**

**MOTION**

**That Council allow Share & Care, Home & Community Care, Silver Chain and the contractors working for those service providers to Shire of Northam residents, to dispose of green waste free of charge at all Shire of Northam landfill facilities.**

**OFFICERS COMMENTS**

Staff are seeking further clarification from affected parties regarding the implications should Council charge for the disposal of green and general waste at its landfill facilities by Share and Care and their nominated contractors. It is also clear that the funding structure for the Share and Care garden maintenance service is quite complex and as such information is also being sought from the main funding body being Home and Community Care (HACC). Further information and options will be presented to Council at the forum meeting.

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**15. NEW BUSINESS OF AN URGENT NATURE INTRODUCED BY DECISION OF MEETING**

**15.1. Elected Members**

Nil.

**15.2. Officers**

Nil.

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**16. CONFIDENTIAL ITEMS**

**16.1 PREMIER'S AUSTRALIA DAY CITIZENSHIP AWARDS 2015**

Name of Applicant:	Internal Report
Name of Owner:	N/A
File Ref:	1.3.3.2
Officer:	Ross Rayson / Michelle Blackhurst
Officer Interest:	N/A
Policy:	Nil
Voting:	Simple Majority
Date:	2 December 2015

**PURPOSE**

The purpose of this report is to request Council to select the winners for the Australia Day Active Citizenship Awards for the Shire of Northam.

**17. DECLARATION OF CLOSURE**